



Turtle Run
Community Development District

www.turtleruncdd.com

Barry Winfree, Chairman

Eugene “Skip” Carney, Vice Chairman

Kenneth P. Murray, Assistant Secretary

Virginia “Ginny” Tropea, Assistant Secretary

James “Rob” Shipe, Assistant Secretary

May 18, 2026



Turtle Run

Community Development District

Agenda

Seat 5: Barry Winfree – (C.)	
Seat 4: Eugene “Skip” Carney – (V.C.)	
Seat 3: Kenneth P. Murray – (A.S.)	
Seat 2: Virginia “Ginny” Tropea – (A.S.)	
Seat 1: James “Rob” Shipe – (A.S.)	

Monday
May 18, 2026
6:00p.m.

Governmental Management Services
5385 N. Nob Hill Road, Sunrise, Florida 33351
<https://us02web.zoom.us/j/87134441344>
1-305-224-1968 or 1-309-205-3325
Meeting ID: 871 3444 1344

1. Roll Call
2. Moment of Silence
3. Pledge of Allegiance
4. Good News
5. Approval of the Minutes for the April 27, 2026 Meeting – **Page 3**
6. Consideration of **Resolution #2026-01** Approving the Proposed Fiscal Year 2027 Budget and Setting the Public Hearing – **Page 40**
7. Discussion of Procedures for the General Election – **Page 53**
8. Staff Reports
 - A. Attorney
 - B. Engineer – Avana Outfall and Lake Side Slope Repair Plans and Proposal – **Page 55**
 - C. Field Manager – Annual Maintenance Plan – **Page 64**
 - D. Manager – Progress Report – **Page 66**
9. Financial Reports
 - A. Approval of Check Register – **Page 68**
 - B. Approval of Unaudited Financials – **Page 73**
10. Public Comments
11. Supervisors Requests
12. Adjournment

Meetings are open to the public and may be continued to a time, date and place certain. For more information regarding this CDD please visit the website: <http://www.turtleruncdd.com>

**MINUTES OF MEETING
TURTLE RUN
COMMUNITY DEVELOPMENT DISTRICT**

A regular meeting of the Board of Supervisors of the Turtle Run Community Development District was held on Monday, April 27, 2026 at 6:00 p.m. at the Coral Bay Recreation Center, 3101 South Bay Drive, Margate, Florida.

Present and constituting a quorum:

Barry Winfree	Chairman
Skip Carney	Vice Chairman
Virginia Tropea	Assistant Secretary
Rob Shipe	Assistant Secretary (via telecommunications)

Also present were:

Patrick Burgess	District Manager
Pat Szozda	GMS
Scott Cochran	District Counsel
Jonathan Geiger	District Engineer
Rhonda Mossing	MBS Capital Markets
Darrin Mossing	GMS
Several residents	

FIRST ORDER OF BUSINESS

Roll Call

Mr. Burgess called the meeting to order and called the roll.

SECOND ORDER OF BUSINESS

Moment of Silence

Mr. Winfree led a moment of silence.

THIRD ORDER OF BUSINESS

Pledge of Allegiance

Mr. Winfree led the Pledge of Allegiance.

FOURTH ORDER OF BUSINESS

Good News

Mr. Winfree: It is time for good news. Does anybody have any good news?

Mr. Carney: I would like to say that the park is looking good.

Mr. Winfree: I agree. I don't know if anybody has driven by there in the last couple of day, but they have really done a good job with the parking lot. They are cleaning it up.

The whole park is being cleaned up as we speak so it is looking a whole lot better than it used to. That is a good thing. The other good thing that is a good thing, probably for one person in particular is the rain. If that keeps up for a couple more days we will be in pretty good shape. The lakes are up almost covering the geo-tubes.

FIFTH ORDER OF BUSINESS

Approval of the Minutes of the March 30, 2026 Meeting

Mr. Winfree: We have the approval of the minutes of the meeting from March 30, 2026. Can I get a motion for that? Any discussion? Anything needing to be changed?

Mr. Burgess: We do have a couple corrections from District Counsel. So it would be a motion to accept the revised minutes from District Counsel. Just for the record Rob Shipe is on Zoom.

On MOTION by Mr. Carney seconded by Ms. Tropea with all in favor, the Minutes of the March 30, 2026 Meeting with indicated changes from District Counsel were approved.

SIXTH ORDER OF BUSINESS

Consideration of Underwriting Agreement with MBS Capital Markets, LLC

Mr. Winfree: The next thing on the agenda is the consideration of Underwriting Agreement with MBS Capital Markets, LLC. I think we are going to run through the document that we sent out. If you could explain some of that and give us a little intro that would be great.

Ms. Mossing: I am Rhonda Mossing with MBS Capital Markets. We have been involved with the District, I have been involved with the District since the day it was created through the management team. Thereafter we became involved with the District during the refunding bonds and the issuance of your bonds in 2017 when you had that project. Back in 2021 you hired us to look at some lake bank erosion financing at that time which you didn't follow through on, but we were under contract with you then to work with you on that. Because those agreements are stale and under SCC rules we are

required to be under contract with the District to answer any question regarding bond structuring that you might have and to show you numbers of what the bond structures and financing could look like. That is why you have this agreement before you today. It outlines the scope of services, and I am ready to answer any questions you may have about it.

Mr. Carney: I just want to make a statement. Right now we don't know the total cost of the project. In order for us to put together a number for a bond we would need to know the total cost of the project. That would be the place that we would need to go to, correct, Scott?

Mr. Cochran: Yes.

Mr. Carney: I know we are the preplanning stage which is a good place to be and appreciate you being here. I do know that in having a conversation with Jennifer today, Jennifer Wasserman, our accountant, it pretty much looks like although we do have undesignated cash, and I think it would probably be good to fund the project in total knowing what the numbers are and not take it from the undesignated cash because we may need that for something else. I think we are on the same page as far as that is concerned. With that said anybody else have any questions?

Mr. Winfree: I have a couple. Do you have any questions?

Ms. Tropea: I may.

Mr. Winfree: Do you want to go now or do you want to wait?

Ms. Tropea: I will wait.

Mr. Winfree: Can you explain the difference between reading through the document I see an underwriter, I see the District, I see there were some other terms in there, is there multiple roles in this that we will be dealing with?

Ms. Mossing: We will either act as your underwriter if we do a public offering of bonds or we will act as a placement agent if we do a private placement with a bank. You will see those terms quite often with a slash, underwriter/placement agent depending upon which direction you decide you want to go with the bonds.

Mr. Winfree: I think I saw somewhere there was an advisor or something also.

Ms. Mossing: It references in there a fiduciary which we are not. We are not acting as the District's financial advisor. We are acting as your underwriter or your placement

agent. The difference is a financial advisor will work for you and give you advice on whether or not your underwriter is bringing you what is considered to be a fair market price for the bonds. As an underwriter if it is a public offering will work with the attorneys to write the offering statement for the offering, pull together all the details that are needed for that to market those bonds. We will market those bonds. We will look at the pricing of similar CDD bonds throughout the state prior to pricing the bonds and then we will go out to the market, and we will offer the bonds at a specific price that is competitive with everything else that is going on at the time. Once we do that then we come back to you and we will tell you we were successful in placing the bonds and we enter into a bond purchase agreement with the District where we buy the bonds and then we turn around and close those bonds and sell those bonds then to the investors that we have talked that have given us feedback that they would be willing to buy them at the price that we have asked. If we get out there and the rate that we go out with to the market is high and we get a lot of interest in those bonds then we take a step back, we lower the rate and we go back out into the market and see what kind of interest we still have. We want to get the District the best market price that we can, but we are not going to give you financial advice and tell you that this is the best market price that you can get. We are going to tell you this is where we feel it is at. A fiduciary would give you that financial advice and that is just one more player in the bond financing that you would have to pay to hire a fiduciary. You are not required to hire a fiduciary but sometimes CDDs do. It is usually on larger public issues not on bank placements and it is usually more related to revenue bonds where the financing security is more of a utility nature and less often with CDD bonds where it is an assessment bond issue. There is a lot of data out there from one day to the next on where those bonds are pricing. It is really a very limited market, limited investors that buy those bonds. It is not a lot of unknown that typically a financial advisor would be brought into advice on. You can certainly do that.

Mr. Winfree: If I understand correctly then I am assuming you have in here a few things that you said you are a not fiduciary in this position, but you do follow the MSRB Rule G17 which is to quote fairness and everything that is treated the same way. Is there any reason why you can't do that in a fiduciary capacity for the District?

Ms. Mossing: Because that would be a conflict of interest. You wouldn't hire us to do both.

Mr. Winfree: Ok. One other quick question when I was reading through Exhibit A and maybe just clarify this, the underwriter purchases securities from the District?

Ms. Mossing: Right. You are the issuer.

Mr. Winfree: So you buy our debt and then you place it however it works so that is why is it is from. It kind of struck me when you were buying it from the District. I didn't quite understand that.

Ms. Mossing: You are actually selling bonds, and we are buying them from you and then reselling them to investors like the Franklin Fund, and all of the big funds that invest in tax-free municipal bonds.

Mr. Winfree: The last time when we went out for bonds did we have a fiduciary advisor?

Ms. Mossing: You did not.

Mr. Winfree: The last question I have is are we required to bid this out for an underwriter or for the best price or anything? There is nothing restricting us.

Mr. Cochran: No.

Mr. Winfree: Anything else?

Mr. Shipe: So are we saying 30 year bonds or is there is an option to do a 20 or 40 year or is it a 30 year bond that we are looking at?

Ms. Mossing: Hiring us we will work with the District on structuring different financing plans. The nice part about hiring us is you don't pay us unless the bonds get issued. We can do modeling for you all day long. We can compare the numbers from a public offering where you would go out to the market and sell those bonds with a 30 year maturity or we can bring back to you a structure that is a bank financing that wouldn't be more than 20 years but could be anywhere between 5, 10, 15, or 20 years. I think that is going to be depending upon what assessments the Board feels comfortable passing through for the payment of the debt service every year. Naturally if you do a 30 year bond issue and you borrow say \$5,000,000 the assessments are going to be lower than a 5 year bond issue that you are borrowing \$5,000,000 on. We will help you model any

scenario that you want to see anywhere between a public offering and a private placement.

Mr. Carney: Once we know the total number of what it is going to cost. *Mr. Carney was inaudible at this time.*

Ms. Mossing: The first step in the process will be for the District to get an engineer's report prepared that outlines what the project is. Then from that engineer's report you can look at it and say ok this is a five or six year phase what do we need for the first three years. Once you issue bonds you have a tax obligation to spend that money within three years. You wouldn't go out and issue debt for six years if you are not going to spend it.

Mr. Winfree: I am kind of jumping ahead on something we are going to discuss in a few minutes under the next item, but I don't know if you plan on leaving or staying but the question I have is can we start working with some of the reserves we have now. We don't want to deplete our reserves, which we have number one, that is why we are thinking of the bonds. It all depends on how much this is going to cost. We still don't have that number. That seems to be fluctuating a little bit. We have a little bit of money and this process of doing the engineering phases and then going into the bond process is going to take a while. This isn't something that is going to be done maybe by Christmas with all that has to be done. If we get the engineering study done and we get the bonds started and that is in process can we take some of our reserves and actually start working backwards sort of speak to get some of the work done so we can continuously get this done and get it done sooner and then when we get the bond money we could put it back in the reserves. Is that a feasible alternative?

Ms. Mossing: What I would suggest is a reimbursement agreement. Scott will give you that opinion more legal than I will but the reimbursement agreement if you enter into it now, identify projects that you are going to be working on that you are going to spend the District's reserves on that you have with the intent to get reimbursed for that at some later date when you issue financing. That makes it work.

Mr. Winfree: Ok. The other thing is I don't know if we can do this or if we want to do this the only question I also had is we have put a lot of time and effort into Avana, and we still have a lot more to go there. It is going to cost us quite a bit. Can we incorporate

that into our overall project and use our bond money to pay for that rather than depleting once again our actual reserves to get that project done?

Mr. Cochran: Yes. It is up to the District working with the District engineer to define the scope of the project. As long as it is something that will support a municipal bond. There is certain types of things that the District can fund but that you can't necessarily pay for with bond funds because of the tax rules and things like that. You will have bond counsel involved once you start going through the process that can speak to those kind of tax issues and bond issues. Generally you are dealing with storm water infrastructure type issues. It doesn't have to be limited to just the erosion thing but whatever the scope of the project is as defined in the engineer's report that is what sets the parameters on what the bond money can go to.

Mr. Winfree: So that is something we can work in if we decide to do so. Ok. That answers my questions for now. I guess there is a last question. I noticed that you wanted to enter into this is there anything that is prevented us for waiting for this or is there any advantage doing it now? I need some guidance on this. We are talking two months for the first phase, how long before we even have numbers to start working with?

Mr. Geiger: Like you said the schedule for phase 1 is the end of June. The sooner we enter into this the sooner we get an updated schedule. I hope by the end of the year we can knock this all out. It is an issue that we are dealing with South Florida Management, dealing with the funding, dealing the rainy season coming up and everything.

Mr. Burgess: I spoke with Landshore and they said assuming the Board approves the 2 through 6 engineer studies that are on the agenda they said they anticipate a time frame would be around late July.

Mr. Winfree: For all of it?

Mr. Burgess: Yes. Late May or early June for phase 1.

Mr. Winfree: Phase 1 we can start right away. We already approved everything for that so they should be working on that already. If we approve 2 – 3 get that moving. We are fourteen months into this, and we are just talking about an engineering study. That is not good.

Mr. Burgess: Avana they said the design for what you approved at the last meeting will be finalized by the end of this week. That is moving.

Mr. Winfree: That is a good thing and then if we could start doing the projects we can maybe move into that and get some of this stuff moving along.

Mr. Burgess: Is there any benefit of approving your agreement today?

Ms. Mossing: I can see no negatives because you don't pay us unless you issue bonds. Just like when we were hired by you in 2021. We did a lot of modeling for you. You didn't issue the bonds so there was no cost to you. The benefits are if you enter into our agreement today I can do modeling and if you tell me ok we want to net \$2,000,000 for phases 1 and 2 I can tell you what that is going to cost in bonds and what the annual assessments will be to each one of your property owners so that you can say maybe we don't want to do 10 years maybe we want to do 15 years to soften that a little bit. I can do a lot model that shows you that. Shows you what the assessment would be based upon current market for any number of years, any type of structure that you think you might be able to come up with.

Mr. Winfree: You are jumping ahead of me a little bit. I got very nervous when you said three years and I know darn well we are not going to spend this to get this project done in three years. Does that really mean we split bonds and do our first phase and then the 3rd and 4th? I am getting a little nervous here.

Ms. Mossing: If it is going to take you six years to do it then I would say you need to break it up into two bonds. Your tax counsel is going to tell you that you have to sign a certificate as the District certifying that you anticipate you are going to spend the money in three years.

Mr. Shipe: When we get the bonds issued from the day of issuance we have to start repaying, making payments on it. Is there a time frame? Is it month to month? I am not exactly sure how the payments go out.

Ms. Mossing: The way it will work is say you guys knew how much money you wanted next week and we could issue those bonds before you certified this year's tax roll in that bond issuance we would have capitalized interest until November 1, so you have the money to pay the interest from the date of issuance to November 1. You certify the tax roll and that debt service assessment that gets added to the very next tax roll will

cover the principal and interest for May 1 of 2027 and November 1 of 2027. Now if you don't issue the bonds until January next year we will do the same thing. We will certify the tax roll in 2027 that will capitalize interest from January to November 1 of 2027. That increases your cost of issuance because money that you are cash funding to pay the interest expense on the bonds from the date of the issuance until you get it on the roll.

Mr. Winfree: That is something that we talked about last week. If we are running this late there is no way we are going to get it in for this year. We are not going to have the cost before we get our budget out. Correct? I don't see how we do that. That is what we were discussing last week how much do we have and it didn't look like we had enough to get the budget increase for this year or in this year for next year. Now you say it is going to be better then we have to figure out maybe we can do something with the bonds going forward for next year. Pay for it when we get a tax increase.

Ms. Mossing: For the tax roll 2027 – 2028. We can work with you on that. The nice thing is if you do a bank placement and I will go into more detail with you.

Mr. Winfree: We can do a bridge loan or something like that.

Ms. Mossing: It is the same thing as a bank placement. A bank placement you will close on that quicker than doing a public offering because then you are not writing an offering statement. You are just having me contact a list of 20 different banks in the state that are familiar with CDDs and used to this type of financing to give a term sheet to consider and they will give us a proposed rate. We will compare it to the market and come back and tell you this is a good deal.

Mr. Winfree: Just thinking ahead can we do that for a short term and then go into the bonds after?

Ms. Mossing: You wouldn't want to do that because you are going to pay cost of issuance twice. Cost of issuance you they add up.

Mr. Winfree: What I am getting at though is the bond would have to be spent within three years, so I am thinking we are going to have to split this anyway. We are not going to be able to get this done in three years even after we know the cost. There is alternatives. I am jumping ahead. I put a little let's call it a planning phase of all the things that we need, and we need the timing for them so when we get to your update we will go through this. I am hearing a little bit of changes that I might have to make to this thing to

figure out what, where, how and why or when we are pulling these things. Do we not see any downside?

Mr. Carney: I think we should be able to enter into an agreement with her tonight.

Mr. Winfree: If we are not obligated for a bid process and we have used it in the past and it has been successful and she is going to follow the G17 we are all set. Our butts are covered right? Everybody agree?

Ms. Tropea: I agree.

Mr. Winfree: Alright, so what does the motion say?

Mr. Burgess: Just a motion to approve the Underwriting Agreement with MBS..

On MOTION by Mr. Carney seconded by Ms. Tropea with all in favor, The Underwriting Agreement with MBS Capital Markets, LLC, was approved.

Ms. Mossing: If you don't mind I did bring some information for the Board and I did run two scenarios to give them an idea of where the market is right now. Would you mind if I passed it out?

Mr. Burgess: Yes, absolutely.

Mr. Shipe: Patrick, was the Resolution #2016-08 was that put in there in reference to the last issuance of bonds? I didn't know exactly why that was put in there. Resolution #2016-08 Expressing the Intent to Utilize the Uniform Method for Levying, Collecting, and Enforcement of Non Ad Valorem Assessment.

Mr. Burgess: No. That is an Exhibit to the Interlocal Agreement. You guys approved that at your November meeting. This is the fully executed version, so you are just ratifying the full executed version.

Mr. Shipe: Ok.

Ms. Mossing: What I passed out for you this evening is just some information that gives you an update on prior bonds that were issued and what those were issued for. I know all the Board members that are here tonight were not here in 1988 for the bond issue or in 1993 probably when they were refinanced. This gives you an idea of the history of the bond issuance of the Board. Slide 14 talks about the 1988 bonds that were issued. Slide 5 talks about in 1993 when those were refunded. It gives you an idea of what the

interest rates were then. Keep in mind that back in 1988 they were concerted dirt bonds because that is what all Turtle Run was. Just a big several acres of dirt. Then the bonds were issued to dig the lakes and the lake banks and the whole system that is listed there that those were spent on. In 2016 there was an engineers report done for some replacement tasks and those 2017 bonds were issued. Those are still outstanding, but you can see what was outlined in the engineer's report then. For those bonds the District validated in 2016 \$11,000,000 and they actually issued in 2017 \$7,545,000. What that means is you still have remaining under that original bond validation \$3,455,000. That is total par. That is not the net proceeds of that amount. I did talk to your attorneys. I talked to Mike Pawelczyk and Scott Cochran and Pat Burgess prior to this meeting and we did discuss what potentially the District would need. At that time Mike and I agreed and I think Scott did too that the District should probably go through a new bond validation process which means to issue more bonds than what is remaining under the bond validation. You would file basically a validation complaint with the circuit court and basically the District is suing themselves for the right to issue bonds. As part of that validation complaint there will be the engineer's report that outlines what you need the money for. There will be an assessment methodology report and a bond sizing that determines the sizing of the amount that you want to validate to cover the cost of that project. Just because you validate those bonds like you did back in 2016 doesn't mean you have to issue them. It means that you won't issue more than that amount. Then it goes to the court process, and they have a hearing and they validate the bonds. There is a 30 day appeal period after that hearing and you have to do mailed notices to all of your property owners of what bonds are being issued for and what the assessments are going to be. It gives them all kinds of information that is outlined in the statute on what needs to be done. You invite them all to a public hearing to give you their comments on the project that you are proposing and the levy of assessments on their property. You sit as an equalizing Board, and you listen to all the comments, and you determine whether or not you want to proceed or not or if you want to make changes and proceed differently. That is the purpose of the public hearing. Once the public hearing is closed you make a determination of what the assessments are going to be. Then after the validation and the public hearing you are able to go out and issue debt.

Mr. Winfree: The bonds you said we have about \$3,500,000 left over.

Ms. Mossing: Just a little less.

Mr. Winfree: The interest rate if I remember correctly was pretty favorable compared to now. Correct?

Ms. Mossing: Well back in 2017 when those were issued actually part of the bonds were rated and insured, the underlying security was the residential and the other part of the bonds was non-rated because the underlying security was commercial and you couldn't get an adjustment grade rating at that time with the concentration of debt that was on the commercial property. The commercial property includes the apartment building because that is considered one tax folio number versus individual tax folio numbers on each residential lot. It was a combined rate but because you validated the bonds back in 2016 doesn't mean you get that same rate today.

Mr. Winfree: That is what I was asking.

Ms. Mossing: You get today's market rate. Under the original bond validation you would be limited to two things under the remaining unissued bonds that have been validated. One would be that you couldn't exceed a certain par amount that was outlined at the time per unit and the other thing that you couldn't exceed a certain maximum annual debt service assessment that was outlined at that time for that bond validation. This chart on page 9 for example shows you what your current maximum annual debt service is per unit and what your debt capacity is, your maximum that you approved back in 2016. For example a single family home is 540 units, so the current maximum annual debt service is \$1,369.30. You committed not to exceed \$2,097.70. Depending upon the interest rate that is out there in the market that is going to dictate whether or not you exceed that cap or not. It is going to limit the par amount of bonds you can issue. Even though there is \$3,455,000 left in the validation if you exceed that maximum annual assessment you can't issue it without another bond validation. That is why we determined when we were talking that it would be in the District's best interest to do a new bond validation and determine what the total cost of the project was, what your needs would be and then go from there. Then slide 10 just gives you idea of where the municipal market has been since the beginning of the year. When we put this slide together the market BMMD the 30 year was at 4.42. Today it is down to a 4.27. It has come down a bit, which is good. The

District's bonds will trade off a spread off of the MMD and it will range between 130 basis points and up to 150 basis points depending upon whether or not the bonds are rated and insured and if they get an investment grade rating they will get a lower interest but if they don't they will get a higher interest rate. It won't be as high as if they were still dirt bonds because now you have vertical construction, you have houses with assessed values and individual taxpayers and a good credit history. You have an excellent collection history on the collection of your assessments so that all goes into play. It will be somewhere between investment grade rating and non-rated. The rest of the information is just a slide that I pulled of your six year plan phasing map. I understand your engineer is going to pull together some numbers. Slide 12 talks about the new bond validation process. It talks about your options of a private placement or a public offering like we talked about earlier. Slide 13 talks about the benefits, the pluses and the minuses of each. Typically you can get an investment grade rating, you probably have to do it the same as you did it the last time where the residential is rated and the commercial isn't. Then it is blended rate that goes together to come up with the average. The nice thing about a private placement is the cost of issuance are usually lower. Recently the private placements have been getting a better interest rate than the rated and insured bonds which is a plus. Private placements won't require a debt service reserve fund which is a cash funded reserve fund that is held by the trustee and can only be used for debt service. You can't get an investment grade rating without one. Private placement placed with a bank they don't require one, so you are not setting aside a chunk of money that is just going to sit there and earn a little bit of interest but not be enough interest to be commensurate to what you are paying on the bonds. There is pluses and minuses of both, and I will let you take a look at that. Timetable for closing the bonds. We talked a little bit about the cost of issuance. Slide 16 talks about the various consultants that will be involved. You will pay in cost of issuance your District counsel, your bond counsel, underwriters counsel, District engineer, District manager and assessment consultant, a trustee and trustee's counsel. There will be a lot of attorneys involved. What you save if you do a private placement versus a public offering is you don't pay underwriters counsel because you are not producing an offering document that you are going to do a public offering with. That saves you some money there. That was a just a presentation that I put together for your information. Once you

know what you need to finance and if you identify in an engineer's report the different phases and you say I want to finance phase 1, 5 and 6. You just let me know and we start proceeding from there with modeling how many years you can go out with a private placement and 30 years for a public offering and let you know what your assessments would look like if you proceed in one of those directions.

Mr. Winfree: Like you said it is going to be a combination of things. If we are talking bonds we may not have to worry about the length of the project. Maybe we can do it in less time if Landshore could do it. There is so many variables in this thing it is not funny at this point.

Ms. Mossing: I understand. I have actually several Districts in the state that are having lake bank erosion problems. It is not just here.

Mr. Burgess: Could the engineering study that the Board has approved be considered into the reimbursement?

Ms. Mossing: Definitely. Scott will add that into a reimbursement resolution to list anything related to the hard costs, soft costs, anything the District expended on this particular project so that you can get reimbursed for those costs.

Mr. Burgess: Ok.

Mr. Winfree: Anything else?

Mr. Carney: No.

Mr. Winfree: You certainly opened up the door a little bit more. There is a lot to think about. I will talk a little bit more after we get the tax collection out of the way and Item #8. We have three or four more things to do.

Ms. Mossing: Did you want me to stay for the rest of the agenda, or I can continue to work with Patrick?

Mr. Winfree: I don't see any reason at this point. We have enough information for that. The only thing we have to talk about is the engineer. I don't know if you sent this to anybody for anybody else has seen it. If we put some timing on this that would certainly help us. What I am referring to is I spend the weekend because I was getting very nervous of everything that is happening, the bonds, and how much cost was going on. I put a little document together, but we will discuss that once we get into the KCI time and figure out how we are going to track this thing because right now we haven't done in my opinion I

could be wrong, but I don't see where we have done any real tracking or planning and it is time to start. We are at that point where we can't keep going like this. We will discuss that when we get to step 10. I think we are good. Unless someone else has a different opinion.

Ms. Mossing: It was nice meeting you. I am sure we will be talking.

Mr. Burgess: I will let you know if there is any questions.

Ms. Mossing: Thank you.

**SEVENTH ORDER OF BUSINESS Ratificaion of Interlocal
Agreement for Uniform
Collection Non-Ad Valorem
Special Assessments**

Mr. Winfree: Item #7 is the ratification of Interlocal Agreement for Uniform Collection of Non-Ad Valorem Special Assessments. I think we are still on the agreement that I signed last year.

Mr. Burgess: Yes that one was approved. Now this is fully executed with the tax collector signature. This is the full executed version that needs ratification.

Mr. Cochran: What had happened I believe because they executed it way back and last year as well, but I think they didn't provide the District with the fully executed versions with their signatures throughout all the Broward Districts until recently. I think that it was put into the agenda package for this meeting. You already approved the substance of it. It is just for the District's records. You can just motion to ratify it. It is really just a housekeeping thing.

Mr. Winfree: Any more questions before we ratify it? Can I get a motion to ratify the agreement.

On MOTION by Mr. Carney seconded by Ms. Tropea with all in favor, Ratification of Interlocal Agreement for Uniform Collection Non-Ad Valorem Special Assessments was approved.

**EIGHTH ORDER OF BUSINESS Discussion of District
Property/Easement
Encroachments**

Mr. Winfree: Item #8 is the discussion of two items. One is easement encroachments and the other is encroachment of District property.

Mr. Burgess: We have a resident here, Margaret. Based on our last meeting we had a discussion about the Board's policy of not having any homeowner's property fences or anything installed on any District lake bank easements. We provided the answer to the resident about that. We met with Jonathan. I met with her on site to explain in more detail rather than just an email thread. She had a few more questions and wanted to bring an idea to you guys of installing a fence. I told her it is not up to us it is up to you guys. We told her we would put it on the agenda for discussion. I have a copy of the survey that was originally provided in case it helps. Does the Board have any issue with Margaret speaking on this and explaining what the reason is that she wanted to speak with the Board?

Mr. Winfree: This is something that we have already said we wouldn't. If we want to take it further that is fine. Do you have an overview that we could take a look at?

Ms. Corbett: I bought the house about ten years ago and I have fences on both sides of house that have been approved and permitted not sure how because they go past the property line. I didn't realize that when I purchased the house. I just wanted a fence across. There is a couple of reasons I want to do that. A few years ago they did a park in that area. I get a lot of kids that come a fish in my yard. They don't know where my property line is or starts and where the public area is. I just wanted to put a fence through there. I realize my original one is at the end, but when you look at the survey there is my property line there. I would like to put it right here where it is in my property line, but I understand that there is easement issues. I know that Patrick and Jonathan came over and said you have plans to fix the shoreline with the water. My property line is about sixteen feet from the water so it would be like 18 feet away from the water. There is plenty of room there. I have been doing my research on easements and fences it doesn't say that it can't be considered. I am willing if there is work that needs to be done I will be responsible just like the fact that I actually have a bunch of trees there. If you

had to do work my trees are in the way which are probably going to be more of a deterrent than a fence. I have like five trees right here that are on the property line. The water is all the way down here. This says 10 feet, but it is actually around 16.

Mr. Geiger: The easement is ten feet. The water edge to her property line is about 16 or 17 feet and then the 10 foot lake bank easement which overlaps the utility easement.

Ms. Corbett: My proposal is to just put it right along here. I know you guys mentioned I had to put right up against my pool deck which there is zero green space.

Ms. Corbett was inaudible at this point. That is my request. There is several properties in my neighborhood that are clearly beyond the easement that has somehow been permitted and approved not sure how. When I to apply for a permit it said my house was on a waterway I would have to get some sort of approval or a no objection. That is all I am asking. I am willing sign anything that I am responsible for any removal.

Mr. Winfree: Let me ask a couple of questions. The property doesn't go all the way to the water is what I am hearing?

Ms. Corbett: No.

Mr. Winfree: Where is this exactly?

Mr. Geiger: You know where the passive park we built off of Turtle Run Boulevard, that brick paver path that goes around. It is right over there.

Ms. Corbett: It is beautiful but now I am exposed to a lot of strangers in my backyard. They don't know where my property ends or begins. Kids fishing.

Mr. Winfree: Is that actually CDD property?

Mr. Geiger: Like she said there is about 16 feet from the water that is CDD property. Most area around the lakes have CDD property. Then the ten foot easement and she is one of the people where there is only a ten foot easement behind her house not a 20 foot and it overlaps the utility easement.

Mr. Winfree: So then ten is the maximum that is easement. The rest of it is our property right?

Mr. Geiger: That pool is built right on an easement line.

Mr. Burgess: The reason we brought it to you guys is we told her, her fence could not be built past this line.

Ms. Corbett: There is very little green space. It is very small on the side. Technically my property line even though I can't build on it. I do pay quite a lot of money in taxes every year. In ten years I have never had any come and say we need your land for anything. Nobody has ever touched it. I am willing to take the responsibility of any costs in case you needed to remove a section of the fence or whatever. There was a fence that actually went all the way down here. I have a fence that goes down almost to the water that someone was approved and permitted.

Mr. Winfree: I am confused.

Ms. Corbett: I have it already on the sides. This survey was from about ten years ago when I bought the house. You can see how the fence goes down here past my property line. I am asking to go here bringing it closer to my house further away from the water.

Mr. Geiger: The easement the District owns are against the residents or into their property.

Mr. Winfree: Ok that is why it is only ten feet there because you have the other 16 feet between our property line and the lake.

Ms. Corbett: Again the distance from my property line to the water is about 16 feet. I am actually to put it up a couple more feet so it would be like 18 almost 20 feet from the water. Still plenty of room for any kind of maintenance that you need along the shore.

Mr. Winfree: Is that from her property line or our property line? The easement goes all the way up to where that second dotted line is. So it is 10 off of there and you are asking to come down halfway to take half of that is what you are saying.

Mr. Geiger: Essentially where that green dotted line is in the middle.

Ms. Corbett: Ideally I want it to be my property line. Just the other day I had somebody almost at my pool deck. I get a lot of people who walk around because of that park that was built. It is beautiful I will give you that, but when you live there it is not fun when you have strangers fishing in your backyard and I need green space for my dog. I wanted to and still I felt personally there is so much room from the water. When Patrick and Jonathan came they informed me about what is going to be going in the future working along the shoreline. I can't imagine the fence being a problem. If it is a problem I am ok with paying for whatever costs it would be to remove a section or whatever.

Mr. Carney: The problem is we don't allow permanent structures on CDD property. That is where the issue is.

Ms. Corbett: Many of them have gotten approved in my community. You should come and take a look.

Mr. Carney: I don't think any of them were approved. That needs to be investigated if that is the case.

Mr. Winfree: The only thing that is strange to me in this one is I know that we turned one down in Hidden Lake about six months ago. That was because there wasn't even room off of the lake itself. In this situation we already have sixteen feet off of there before we even start the easement correct.

Mr. Geiger: Yes. Patrick sent me the District rules that were adopted and it does say that fences are permissible on District property. There is nothing in here that references the easement. I see no rule that the District has adopted that says they can't be placed in easements. It always references right-of-way and it does say that plantings, the construction and removal of plantings are permissible within the Districts right-of-way with the understanding that such improvements are made at the risk of the permittee and are subject to removal if we need to use the property.

Ms. Corbett: Even on the website it even has you are responsible if it is on an easement.

Mr. Winfree: So this is concerned then a right-of-way since it is to water.

Mr. Geiger: Right-of-way is your property.

Mr. Winfree: That is concerned a right-of-way. It isn't like we need ten feet off of the lake or 20 feet that we normally need to work on it. It is a right-of-way not an easement. In Hidden Lake they are up to the lake. There is no CDD property it is easement only.

Mr. Geiger: That is why the easement then goes into the property. In this instance right-of-way just means District property.

Mr. Winfree: What I don't understand, and I am kind of confused is we have 16 feet and most of them are between 10 why did we need another ten feet in?

Mr. Geiger: That is just the way it was platted. Don't ask me. There is some areas in the District where there is 30 feet and then a 20 foot lake bank easement.

Mr. Winfree: Do we have an actual rule written or anything that says that we can't put a fence? I know we turned the other ones down but that was because it was all the way into the easement and we couldn't have a fence all the way down there. This one I am kind of torn.

Mr. Carney: You are going to open up the pandora's box.

Mr. Winfree: I know that is what I am worried about. If there was an easement down below I would say it is a no brainer.

Ms. Corbett: If I am willing to pay for whatever. Nobody has touched my property in the ten years that I have been here. I live there and pay \$10,000 a year in property taxes. I get what you are saying but if it according to what I have been researching. Again I am not a professional.

Mr. Carney: We have had people over the years that have wanted to put fences, put structures in easements and we really didn't allow that. What you are going to do is open a Pandora's box.

Mr. Winfree: If you do it for one.

Ms. Corbett: I understand.

Mr. Carney: Once we open up the Pandora's box they are going to be lined up. It could take six months, a year, but they are coming. We need to be consistent.

Mr. Winfree: The legality is you are still in the easement.

Mr. Burgess: I think at this point the Board just needs to let us know the direction on this. She had some questions we couldn't answer. It is an interesting situation, so we want the Board to give us direction.

Mr. Winfree: I understand. I got to follow what we have done for years. There is no fences in the easement. Do you agree? I say we have to follow the precedence that we have had since day one unless someone else has a different idea.

Mr. Carney: I agree.

Mr. Burgess: We will take that direction then.

Mr. Winfree: I am sorry. Alright next issue. We talked about the easement, but we have another situation to talk about. We have a community, part of Newport, we own the property very similar to this. We own all that property all the way to the lake. We talked about this. I don't think that is a right-of-way that goes down to the FPL lakes.

Mr. Geiger: I am confused to what the conversation is.

Mr. Winfree: Here is the point. What is happening is you have, can you throw up Newport in the back. You see the top line which is the property line as far as Newport is concerned. You see now they are actually planting and that line down, all that inside those red lines include the lake and around the lake belongs to the CDD. Newport some of those residents are planting gardens, trees, bushes, and everything on CDD property. You can see they are all the way down to the lake and they just put in about half a dozen new ones just in the last month. The rules as I understood them is that there is no planting on CDD property. There is no residents utilizing CDD property for trees, fences and things of that nature. What reason brought this is do we have a liability if they come out here and the planting trees, cutting trees, cutting grass on CDD property?

Mr. Carney: Let me go back through the history of what is happening here. Years ago we started enforcing the lake banks. You couldn't even get around the lake. Dennis went through and knocked on all the doors and said you need to remove your landscaping. At that time the Board it was agreed upon that we needed ten to fifteen feet whatever number it was to be able to get around the lake for emergency purposes. There has to be a pathway to go around these lakes that if there is an emergency we have accessibly around these lakes. It has to come out without question.

Mr. Winfree: How do we enforce that and how many feet do we want? What is the direction?

Mr. Burgess: It is not really closed off it is people planting on not their property. I think the direction is we need to know whether the District wants to remove it.

Mr. Winfree: If you have palms and stuff growing out there, mango trees that are all the way down laying on the ground who is going to raise them up or take care of those.

Mr. Carney: I believe the homeowner needs to remove it.

Mr. Winfree: All the way to the lake or fifteen feet or what are we doing? What was the guidelines in the past?

Mr. Carney: It was fifteen feet from the lake. We would need fifteen feet to get around the lake.

Ms. Tropea: So being consistent it would remain 15 feet.

Mr. Burgess: Does the Board want us to send letters to these residents?

Mr. Carney: I would.

Mr. Winfree: Can we let him speak since it his HOA?

Mr. Lohman: What you are talking about is the new stuff that is down there is already taken out. I told him he had to take it out and he would be getting some kind of notification from the CDD.

Mr. Winfree: All the new stuff is out already?

Mr. Lohman: I will go back there and look. I believe he did. The thing is that you can see right there that there is a bunch of trees back there up towards the middle and there is an oak tree that is probably somewhere right about in there or the next house.

Mr. Winfree: There is two of them. There is one there and one down further.

Mr. Lohman: The property owner has a fence there and it is within four feet of the fence and goes way over his house. He is allowed to trim it over his property line, but he was in the process of cutting it down and he complained that is has never been maintained. The tree has never been trimmed. I told him he couldn't cut it down. His complaint was the tree had never been maintained. I get the little stuff, but what do you do with all the other stuff that is back there because it has been years. That stuff just didn't get big overnight.

Mr. Burgess: It is up to the Board. Does the Board want to have the items removed?

Mr. Carney: I think what needs to happen is Pat and whoever else needs to go around and look at not just this guy's house but a lot of the houses that are putting stuff down to the lake bank and it should all be removed, not just one person.

Mr. Lohman: He is the only new guy, and I am the one who saw it and I brought the subject up because I didn't think it was right. In 20 years he would have had a grove of avocado trees back there.

Mr. Carney: It is not just Newport though.

Mr. Lohman: If it is there and you are not going to take it down it needs to be maintained.

Mr. Winfree: Let me ask a stupid question. What do the other Districts do? Have you had this in other Districts and what have they done?

Mr. Cochran: Boards do different things. Some of them take the approach that they don't allow anything and remove it all. Some of them allow stuff to be grandfathered in. Some of them adopt specific rules that govern it and standards for maintenance and stuff like that. It is not one size fits all.

Mr. Carney: Dennis went around with a yard stick. He measured ten feet or fifteen feet whatever it was and everything else had to come out. He sent letters to all the homeowners. We did the entire neighborhood.

Mr. Cochran: The main thing is just being consistent. Unless there is something specific about a particular location or the maintenance or the feasibility of doing things that requires it to be treated differently.

Mr. Winfree: I could live with 15 feet around but what about all the stuff that is there. Is that ours now to maintain because it doesn't seem like any of the homeowners are maintaining that stuff.

Mr. Carney: We shouldn't have to maintain any of that landscaping.

Mr. Winfree: I don't know who put it there. Some of that stuff has been there since looks like day one. Some of those trees are bigger than some of the biggest trees we have.

Mr. Kapish: I don't think our tax dollars should be paying for somebody else's trees.

Mr. Carney: That is true.

Mr. Kapish: Actually the way the Board used to operate was none of the stuff was allowed because otherwise if you let one person do this like this lady trying to get fence in there. Since she is telling you that there are fences in the easement means that nobody has inspected those easement in years otherwise there shouldn't be a fence in the easement. You shouldn't have someone coming here telling you there is fences in the easement. You need some oversight.

Mr. Carney: Everybody's property line a little different too. She could be mistaken.

Mr. Winfree: They told us the same thing over at Hidden Lake when they were trying to get their fence.

Mr. Burgess: I think until we have more information for you guys. This was one singular area that was looked at. We can bring back more information, but it is not going

to be productive until we give you a full scope of what is going on. I think until we provide you guys with more areas.

Mr. Kapish: The more exceptions you make the more of problem you will have.

Mr. Winfree: The Pandora's box is open every time you do it, I agree.

Mr. Lohman: With the maintenance there now I know that anybody that doesn't have a fence behind their house has their landscaper cuts all the way down to the lake.

Mr. Burgess: In general no one should be on property that is not theirs.

Mr. Lohman: I don't think anybody has ever said anything to them. Again I don't know if you guys have ever cut it before. I don't know anything about it. I do know that there are people that live along that area there that cut all the way down to the lake.

Mr. Burgess: I think we can bring back a plan to the Board on how to proceed but I think if we are going to send anything out it needs to explain that look up your property line and if it is not your property you should be cutting to it and not past it.

Mr. Carney: Send them letters saying you need to remove your landscaping going down to the lake.

Mr. Lohman: Again, remove your landscaping again those people a lot of them didn't live there when that stuff went in. That tree in the corner right there is massive. You guys took care of it a while back because the homeowner was complaining because people could hide in there and people walking along there could get jumped.

Mr. Burgess: Can we bring this back to the Board with more information?

Mr. Carney: It is not that complicated. We just have to make a decision.

Mr. Winfree: I think the 15 feet rule at a bare minimum, but I don't think anything should be planted on there and we should be maintaining it. It shouldn't be them the homeowners in front of it having free range sort of speak. That is my opinion.

Mr. Carney: Let's go back to the fence issue. I thought it was documented that no permanent structures were allowed in the easement. Everyone is saying there is nothing in writing. We need to put something in writing.

Mr. Kapish: We had a lawsuit about that and that was the rule. I don't know why it is not.

Mr. Burgess: We have the District adopted rules and within those rules is what the District approved. That is what I provided to Jonathan. We can put them on the agenda

for you guys to review them. You have rules in place, and it mentions what Jonathan mentioned. I think until we can put it in front of you guys to look I don't think it is going to be productive discussion.

Mr. Winfree: Let's table this for that. We need to come up with something we are going to do with this back area.

Mr. Burgess: We will add rules to the next meeting, and we can discuss it further. Once we have more information on any plantings or anything on District property we will have something for you guys to discuss efficiently.

Mr. Winfree: Ok.

Mr. Burgess: We will recess the meeting until Barry returns.

Mr. Winfree: I am back.

Mr. Burgess: We will reconvene the meeting. Time is 7:17 pm.

NINTH ORDER OF BUSINESS

Consideration of Proposals to Clean Decorative Light Poles

A. SouthEast Land and Water Management

B. People's Choice Pressure Washing

Mr. Winfree: Pat do you want to talk about those two really quick?

Mr. Szozda: Yes. I consulted with Steve who is with People's Choice about cleaning the poles all the light poles including the globes. He said it probably hasn't been done in ten years, so we went ahead and got three proposals for the pressure cleaning of the poles and every individual agreed to handwipe the globes and dust what was necessary up there. SouthEast Land and Water I believe came in at \$6,550 and People's Choice at \$7,169.

Mr. Burgess: So People's Choice is basically saying that they are going to have a one month rental for a lift, and it could be reduced from \$2,801 to whatever the time frame is that they use the lift. The lift is included in SouthEast Land & Water Management.

Mr. Szozda: I would say cost wise they are probably very similar. I am estimating maybe it could be two week project just based on weather, dealing with issues. Doing ten poles a day it would be done in two weeks. If you are doing 20 poles a day you are done in a week. He is on the side of caution. That price would be reduced. I think it was a safety net for him to put that in there.

Mr. Carney: People's Choice they have been there a long time.

Mr. Szozda: They did it previously also.

Mr. Carney: He takes ownership of the area. He sees things that need to be done, and he will tidy it up along the way. We don't know if someone new is going to do that for us. I like People's Choice.

Mr. Burgess: Do we have a motion for People's Choice?

Mr. Carney: That would be my choice.

Mr. Winfree: I kind of agree. SouthEast is the one that takes care of all of our lakes and the other one takes care of all of our power washing and stuff to begin with. Separation of duties kind of makes more sense. Like you said we have been using them for quite a while. That is my two cents worth.

Mr. Carney: I can call Steve today, and he will be here tomorrow.

Mr. Szozda: He is very responsive. I have no problems with them.

Mr. Winfree: Ok, then I hear a motion for People's Choice?

On MOTION by Mr. Carney seconded by Ms. Tropea with all in favor, a proposal in the amount of \$7,169.21 with People's Choice to clean the decorative light poles and globes was approved.

TENTH ORDER OF BUSINESS

Staff Reports

A. Attorney

Mr. Winfree: Scott do you have anything?

Mr. Cochran: Not beyond what we will talk about with the Landshore staff.

B. Engineer

1) Update on District Lake Side Slope Remediation

2) Proposals with Landshore Enterprises, LLC for Lake Side Slope Phase Engineering Studies:

a) Lake Side Slope Phase 2 Engineering Study

b) Lake Side Slope Phase 3-6 Engineering Studies

Mr. Geiger: Just to recap what Patrick had explained earlier with Avana just to get that out of the way. The schedule says that they will have the plans by the end of the week. Hopefully once we get their plan specifications, I am assuming they are going to provide a cost for whatever the solution is going to be on that. I guess the next meeting

we will hopefully have something to approve for the construction side of that. They haven't updated me on anything outside of the fact that they are still working on the engineering. Moving from that at the last meeting we approved phase 1 for the engineering study. That was for \$20,000, about 9,500 linear feet. We met with Landshore and then obviously with the bond counsel, GMS and everything to discuss getting the additional proposals that are needed for the rest of the phases. Landshore basically provided the same proposals for engineering studies for the other lakes, one for phase 2 and then they provided one for phases 3- 6. Phase 2 the cost was \$29,610 and that for 12,725 linear feet of study area. That is why it is a little bit more expensive than Phase 1. Then for Phase 3 – 6 they are asking for \$32,500. I think that is about 12,925 linear feet. It is the remainder of the lakes. After meeting with Landshore and then speaking with Rhonda and everybody, we are just trying to get a feel for, this would give us plans specifications and cost estimates and hopefully a timeline for what they think they can accomplish and how fast. This would be the best way to get a firm number to have KCI if we were to go the bond route. Because they also do construction I feel more comfortable with their numbers than us having to put numbers to something. KCI is the person who would running an engineer's report for any sort of bonds, a lot more confidence with that number and what the District would need to borrow. This would also give us a better idea of how we are going to accomplish this. I know part of the reason that we are going through this is because the first method that we were looking at for Phase 1 with the eco-tube South Florida did not seem to want to entertain. Moving onto the other two methods now we are looking at \$1.7 million to \$2 million dollars. I don't think Phase 2 is going to need the same method around the whole lake because there is not the geo-tubes. As things got more expensive it would behoove the District to put some of this work upfront. Get the plan specifications, get costs figured out and then when we do need to go back for either a bond or loan and also put this out to bid for construction we have all that information ready to go. Then we can look at that and decide we have three years what can we accomplish in that three years based on something that is already on paper. Some of this stuff might be a little bit out there in terms of construction time but I don't think it is going to change that much to where these plans aren't going to valid in a couple of years. I think the Board should go ahead and consider

approving these just so we can get this on the books. I know Patrick said the end of July for all of them.

Mr. Burgess: That is what they said.

Mr. Winfree: Seems very aggressive to me. Let's see what we can do.

Mr. Geiger: I think after speaking with Miquel and his team a couple of times they seem very dedicated to providing service to the District. Like I said this is going to have to go out to bid because of the cost and everything, but I think they are really looking to help us out here and try to get us as much information so the Board can make decisions on how to fund and move forward and everything.

Mr. Winfree: I don't see any reason we can't do this to tell you the truth. Does anybody see it any different?

Mr. Geiger: This would be costs that would probably be built into, we just put a generic bid out, this would already be built in because they are not going to just go out there and start moving dirt. I wouldn't want them doing that anyways. I feel like we are getting step one out of the way now so we can better look at the finances and also get something in front of South Florida that we can say this is what we are doing. Here are our plans. Please give us an indication.

Mr. Winfree: I completely agree. It has been 14 months and we haven't anything. There is a limit to patience. I think this is about the only step we have at this point. Unless somebody has something different or has any discussion.

Mr. Geiger: I know this doesn't change the timeline. I have to go back to South Florida. I owe them an update. I wanted to wait until we spoke to the Board about this because this would change the timeline from we are going to get phases done this year to you are going to do all the engineering upfront, figure out the finances. If we have everything all planned out if Landshore is the selected contractor they can just continuously work instead of having to pause to do design, go back to construction. I think that South Florida is going to be fine with it. I think it is to our advantage to lock in a cost estimate now.

Mr. Winfree: Absolutely. I completely agree. One thing that I would like to see, and it is for a couple of reasons. I would like something from South Florida in writing that they are not buying into the geo-tubes. Two reasons, one I can't just have somebody say I

don't think we are going to approve them and we are not going to go forward with it or whatever. I need something in writing because when we go back to the residents or go before anybody and say we are going from \$900,000 and something to \$2 million something now why? They using the same process in other places why can't we use it here? We need a good reason. Not just a rejection but why? I need a good reason on why we can't do what we proposed.

Mr. Geiger: Understood. That could be something we could talk to them.

Mr. Winfree: Is that unreasonable? I am not trying to piss them off or anything I need a good reason for us spending that extra money and do all this extra work.

Mr. Geiger: Understood. I think for them that would be a pretty easy letter for them to provide. Here is what your permit says, here is what we allow.

Mr. Winfree: And this is why we are saying no. I am hearing we have used the same process in other places why can't we use it now.

Mr. Geiger: When we spoke with them directly I think Landshore might have been confusing a permit they pulled under Broward County. Even when we spoke with Miguel with Landshore on the line he indicated the 9 inch thing and South Florida said 8 inches is our max and we don't normally do the step downs.

Mr. Winfree: I like the 6, 6, 6 and we have met it. I would think I would like that more than putting some slippery concrete slope there to tell you the truth.

Mr. Geiger: It would be more of a cost advantage.

Mr. Winfree: I think it would a better safety.

Mr. Geiger: It is not just concrete. It is planted on top. It is concrete but the material does allow planting to grow through and under it.

Mr. Winfree: Ok.

Mr. Geiger: What they showed us was a project still in construction. That is something we could speak to Miguel about as well.

Mr. Winfree: I still think that it is better to do a, it is like being in a pool. When you get out of a pool would you rather be climbing on nothing. There is no steps there or trying to use a step to get of a pool.

Mr. Geiger: With a 4:1 slope you shouldn't need anything to climb out. That is the whole reason that is required.

Mr. Winfree: I would ask for that.

Mr. Geiger: Understood. Part of these studies too is Landshore they are going to coordinate with us. There will be some back and forth with GMS and KCI. We will go back to South Florida and if they say we can get them down to 6 inches, let us hit South Florida again and see how they feel.

Mr. Winfree: Exactly. Let's vote on this thing first and get that out of the way. Can I get a motion that we are going to complete Phase 2 and Phase 3 -6 for an engineering study?

On MOTION by Mr. Carney seconded by Ms. Tropea with all in favor, Lake Side Slope Phase 2 Engineering Study in the amount of \$29,610 and Lake Side Slope Phase 3 – 6 Engineering Study in the amount of \$32,500 with Lakeshore Enterprises, LLC was approved.

Mr. Winfree: Do we have a copy of what I sent you?

Mr. Burgess: Yes.

Mr. Winfree: This is what I put together to your point of who needs to talk to who and what we need to do. What I did was and don't worry about the owners and all that. I just put things in there as a suggestion. We don't have any project planning tools or anything like that to use. I tried digging out some old stuff and I couldn't get anything. You have to pay for everything now. The free stuff just didn't work very well. This is kind of the preplanning steps. Like we have all said in the meeting for a while the first thing we have to do is complete these engineering studies before we can do anything else. We can't go for bonds, we can't start work, we can't do anything until these engineering studies are done. Then we already reviewed the bond process. She has already given us an idea of what we can do but to me that is going to be an ongoing thing. You heard all of the options we have. That is going to be a lot of discussion. We reviewed it and we have somebody working with us now, so I think we are going in the right direction for that. To your point once we have all this together, engineering, South Florida, and GMS needs to get together to review what are we going to put together for a bid package. That is what is going to come out of this how do are we going to bid this.

Mr. Geiger: What Landshore provided is exactly what we put in the package. There is going to be plan specifications. The only other stuff is just front end documents that I would work with District counsel and GMS on providing but essentially we would just be attaching the engineering.

Mr. Winfree: The other thing I am looking for when we get the bid package we have to figure out if we can piece meal this thing somehow. We have some reserves where we can start some of this sooner than later. We have to include that and spread that work out and around to be able to pay what we have the money for and get back from the bonds.

Mr. Geiger: Getting all that stuff done now is the Board can make the decision. Some of these smaller lakes it is going to be \$50,000 one or two lakes start it now, placate South Florida and then we don't have to borrow \$50,000 extra.

Mr. Winfree: Exactly and when you get that together come back to the Board, the Board says ok yes this is a bid package we want to send out. We send it out to our assuming it is going to have to go out for public bid. It is not just going to be vendors we choose. The other thing I want to throw in there is a due date. Figure out what we need for a due date. When do we want that back? I don't want to give these guys six months.

Mr. Geiger: That is part of the normal bid process for a sealed bid. It has to be posted in the paper, and we have to follow that schedule that we normally post. We give them two weeks to come get documents. We have a pre-bid meeting a week after that and then they have three more weeks to ask questions. If it is not sealed and in my hands by 3:00 p.m. on the day we decide we don't consider it. We have worked on that stuff for other Districts already and with GMS. We have documents that basically you need to change the scope of work and maybe update them or new rules and regulations.

Mr. Winfree: Sounds good. That is what I am looking for. Once you come back with what the actual plan that you have worked with the vendors what is their actual implementation plan like you said. Where can move things to get things done and put in an actual plan. Once we have all that then we know the monies we need and when we need them and then we can actually get into the meat of really starting to do the bond process. Am I missing anything here? I am sure there are more steps below or in between all that.

Mr. Geiger: In my experience we have bonds to do construction, if some of this we are going to do without bond money we can go do that without starting the bond process but for everything else normally you would get the bond first and then you would start putting stuff out to bid. For Cypress Cove for example we had to get hard numbers and bids before the bonds were issued. They would not issue us bonds without them.

Mr. Winfree: Maybe I am not explaining this properly. What I am saying is we can use some of our money, but we would put that into the reimbursement agreement that we can put that back in, so we don't run out of money. Our capital is getting drastically low. Our capital reserves are very low right now. You can see down further some of the questions that I put in there. Can we start? We already talked about that one. Can we actually add Avana into this process also? Can we insure that the lakes go back to the original plat? If we are going to spend all this money and set everything up shouldn't we put it back all the erosion that has happened and fix it to where it was when it was set up and where it should be. I mean what I would like to see is going down neighbors' yards and everything zig and zag, is there a way that we can, I don't know if it going to cost a lot more to do that or whether it is worthwhile or not.

Mr. Geiger: It is going to cost more because right now what we are being required to fix is the slope and to fair these lakes some of them were not always straight edge lines.

Mr. Winfree: I understand that, but I am sure some of them were curved and some of them don't go in a perfect straight but at least get them back to some resemblance of where we were.

Mr. Geiger: That can be something we can discuss with Landshore. He has indicated that there is going to some areas where we are going to have to fix headwalls, we might have to extend some out. That would be something when they are doing their engineering study. I will look at the plans, we will present them to the Board and if you have comments, can we straighten that out, can we push that out a little bit? That is going to be down the road once we get into the weeds of it.

Mr. Winfree: The other thing is do we need to, I know for the bonds we have to notify all the residents and do our public hearing and all that, but do we need to notify the residents that we are working or going to be in their backyards?

Mr. Geiger: It would be nice to.

Mr. Winfree: I would think that would be something we would have to do also. Once we have our plan, put a plan out to the residents and say we are coming be prepared.

Mr. Carney: Once we have the plan I agree with that.

Mr. Winfree: Something has to go out to the residents. Last but not least can we incorporate a maintenance plan? Is there a maintenance to this or not?

Mr. Geiger: Part of the outlined action plan that South Florida agreed to was us submitting a maintenance plan or coming up with one. I don't think they need to approve it. I do think it would behoove the District for when there is a different Board the same way we have the annual maintenance plan, take a couple lakes every year we are inspecting lakes 1, 2 and 3. We have to do repairs on a five-year basis and inspect all the lakes. I don't think we have to do every lake every year. Ten years from now if you see something let us know so we can fix it. I would recommend a maintenance plan so I am not here down the road and you guys are not here there is something in writing that GMS can follow.

Mr. Winfree: That was me sitting at the kitchen table. Can anybody think of anything else?

Ms. Tropea: Well done. Great questions.

Mr. Winfree: Is there anything else we should be putting in there? I am sure there is going to be more details as this thing grows.

Mr. Geiger: I think this is a good starting point and I think once we start getting some stuff back from Landshore and some firmer dates we can start populating some this to keep us on track.

Mr. Winfree: I want to start tracking this. It has to be.

Mr. Geiger: Based on this I feel like you are going to complete all these engineering studies by the end of July by August we should be able to sit down with South Florida and then have a good idea of ok this is what we are doing. This is what it going to cost. Concurrently work on the financing.

Mr. Winfree: Patrick I will leave this up to you. Do you think it worthwhile getting tracking software or anything? Do you want to try and do this on Excel? We will talk about

it later. I don't want to decide that right now. That is just an excel spreadsheet I threw together.

Mr. Burgess: We can look at it.

Mr. Winfree: Anything else on that? Any other suggestions or discussions on that one?

C. Field Manager – Annual Maintenance Plan

Mr. Szozda: Just a couple quick updates. We had the pavers leveled at Lauren Jackson. The roots were pushing them up pretty bad. Julia was nice enough to point that out for us. Over on the corner of Turtle Creek and Sample Horsepower went in there and put in a new pole. Well they were putting in the pole they did quite a number on the existing landscape. I had some cocoplums and some sod put in there and it turned out pretty good. I also had Eagle Electric do a complete inspection of all the lighting on the property. Seeing that we are going to get the poles cleaned up I want to make sure all the lights were working. All the lighting is in good shape. As far as what is coming up next the Sylvester's will be trimmed this week. Mulch should be in hopefully by the end of next week.

Mr. Winfree: Is that it?

Mr. Szozda: That is it.

Mr. Winfree: Does anybody have any questions?

D. Manager – Progress Report

Mr. Burgess: On the progress report Horsepower does have the speed limit pole in the Estates. They are just behind with scheduling. Tomorrow they are supposed to give me an install date. We have all the equipment. That will done then come July we should get the light poles that are knocked down or damaged that need to be replaced. That will be taken care. Hopefully no more get hit but I doubt it. That is all I have as far as what is on the progress report unless there is any questions.

Mr. Winfree: Any park updates?

Mr. Carney: The park is coming along really well. They did the resurfacing of the blacktop. There is a few outstanding items right now are the restroom roof. I think they are putting that into the budget for next year. The basketball court relocation will be relocated in the west side of the playset closer to the school. The old decorative signs

they are going to replace those. They will all be consistent throughout. For the most part that is it. It is looking good out there. They always talked about we are neighborhood park. They are not going to do a lot for us, they are not going to give us a lot but right now it is looking more like a city park, and they are using it quite a bit actually. A lot of soccer games, a lot happening out there. The pavilion was completed. The picnic benches were put in. They are going to put one BBQ grill out there so people can grill. We asked for two.

Mr. Szozda: I do believe according to what I have heard there will be some kind of ceremony Saturday, May 2nd.

Mr. Carney: That is right. I think it is from 10:00 to 1:00 pm.

Mr. Winfree: Just an FYI I leave this Friday for a little vacation.

Mr. Burgess: Just an FYI as a reminder the May 18th meeting is at GMS.

Mr. Winfree: It is not the last Monday of the month because of the holiday.

Mr. Shipe: I am not going to be here on the 18th. I don't know if you want to check and see if we are going to have a quorum.

Ms. Tropea: I will be available.

Mr. Winfree: We just have to confirm Ken because we know both us are not going to be in town.

ELEVENTH ORDER OF BUSINESS Financial Reports

A. Approval of Check Register

B. Approval of Unaudited Financials

Mr. Winfree: Financial reports. Approving the check register.

Mr. Carney: We are doing relatively good. *Mr. Carney was inaudible at this time.*

Mr. Winfree: They don't quite balance out but we are going in the right direction.

Mr. Carney: I was talking to Jennifer earlier today and she said it is going to close.

On MOTION by Mr. Carney seconded by Ms. Tropea with all in favor, the Check Register was approved.

Mr. Winfree: Anything else you want to discuss about the unaudited financials?

Mr. Carney: No.

TWELFTH ORDER OF BUSINESS Public Comments

Mr. Winfree: Public comments. Who wants to go first? Do you have anything Chris?

Mr. Kapish: I wanted to talk about Pat you might want to take a look at this the pavers at the main entrance. The curbs from the huge oak trees which shouldn't be there they are lifting the curbs.

Mr. Szozda: I noticed that.

Mr. Kapish: If that continues that is going to be a major problem.

Mr. Szozda: I agree.

Mr. Kapish: My suggestion is to put some other type of tree there because those oak trees they don't recommend them to be in a small area.

Mr. Szozda: We will have to look at that for sure.

Mr. Kapish: The other thing is this lank bank has actually been going on for sixteen months. I don't know about the liability if someone falls in that lake and can't get out and they sue the District I don't know if the insurance company is on notice or whatever. The District is open up to massive amount of liability. You are talking about a lot of lakes and a lot of shoreline that has liability issues. You haven't even gotten to a plan yet. There should be a line item for lank bank restoration because lake banks is the main and sole function of the District. Everything else is secondary. The fact that there is no money for it is telling the fact that it is not being appropriated for. That probably should change in the future. That is all.

Mr. Winfree: Thanks.

THIRTEENTH ORDER OF BUSINESS Supervisors Requests

Mr. Winfree: Skip do you have anything?

Mr. Carney: No, thank you.

Mr. Winfree: Ginny?

Ms. Tropea: No, I am good.

Mr. Winfree: I am good. The only other thing I was going to bring up was the 18th being the meeting at GMS. Anybody else have anything? Alright. Can I get a motion to adjourn.

FOURTEENTH ORDER OF BUSINESS Adjournment

On MOTION by Mr. Carney seconded by Ms. Tropea with all in favor, the meeting was adjourned.

Assistant Secretary/Secretary

Chairman/Vice Chairman

RESOLUTION 2026-01

A RESOLUTION OF THE TURTLE RUN COMMUNITY DEVELOPMENT DISTRICT APPROVING THE DISTRICT'S PROPOSED BUDGET FOR FISCAL YEAR 2027 AND SETTING A PUBLIC HEARING THEREON PURSUANT TO FLORIDA LAW

WHEREAS, the District Manager has prepared the proposed budget for the Fiscal Year 2027; and

WHEREAS, the Board of Supervisors approves the proposed budget for purpose of submitting said budget to the local governing authorities not less than 60 days prior to the public hearing date in accordance with Chapter 190.008(b), Florida Statutes: and

WHEREAS, the Board of Supervisors desires to set the public hearing date;

NOW, THEREFORE, BE IT RESOLVED BY THE BOARD OF SUPERVISORS OF THE TURTLE RUN COMMUNITY DEVELOPMENT DISTRICT:

1. The proposed budget for Fiscal Year 2027 is hereby approved for the purpose of conducting a public hearing to adopt said budget.
2. A public hearing on said approved budget is hereby declared and set for the following date, hour and place:

Date: _____

Hour: _____

Place: _____

Notice of public hearing shall be published in accordance with Florida Law.

Adopted this _____ day of _____, 2026

Chairman/Vice Chairman

Secretary/Assistant Secretary

Turtle Run
Community Development District

Proposed Budget
Fiscal Year 2027



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Turtle Run
Community Development District
Proposed Budget
General Fund

Description	Adopted Budget Fiscal Year 2026	Actuals Through 4/30/26	Projected Next 5 Months	Projected Through 9/30/26	Proposed Budget Fiscal Year 2027	Proposed Budget Fiscal Year 2027
					\$0 increase	10% rate increase
REVENUES:						
Special Assessments - Tax Roll	\$ 1,272,662	\$ 1,279,931	\$ 15,001	\$ 1,294,932	\$ 1,272,662	\$ 1,400,098
Interest Income	85,000	43,576	31,126	74,702	74,000	74,000
Insurance Proceeds	-	40,169	-	40,169	-	-
Other Income	-	75	-	75	-	-
Unassigned Fund Balance	-	-	-	-	82,942	-
TOTAL REVENUES	\$ 1,357,662	\$ 1,363,750	\$ 46,127	\$ 1,409,877	\$ 1,429,604	\$ 1,474,098

EXPENDITURES:

General and Administrative

Supervisor Fees	\$ 12,000	\$ 5,600	\$ 5,000	\$ 10,600	\$ 12,000	\$ 12,000
FICA Taxes	918	428	383	811	918	918
Engineering	-	-	-	-	110,000	110,000
Assessment Roll	2,000	2,000	-	2,000	2,000	2,000
Attorney	65,000	18,068	22,374	40,442	45,000	45,000
Attorney - Special Counsel	50,000	16,843	12,030	28,873	50,000	50,000
Annual Audit	3,900	-	3,900	3,900	4,000	4,000
Arbitrage Rebate	600	600	-	600	600	600
Trustee Fees	7,000	7,000	-	7,000	7,000	7,000
Management Fees	72,311	42,181	30,130	72,311	76,650	76,650
Information Technology	1,000	583	417	1,000	1,000	1,000
Website Maintenance	1,000	583	417	1,000	1,000	1,000
Postage & Delivery	750	610	436	1,046	1,250	1,250
Insurance General Liability	14,915	13,389	-	13,389	14,728	14,728
Printing & Binding	1,000	29	21	50	50	50
Rental & Leases	4,800	2,800	2,000	4,800	4,800	4,800
Meeting Room	1,200	400	600	1,000	1,200	1,200
Legal Advertising	1,250	324	649	973	1,250	1,250
Other Current Charges	1,400	1,088	777	1,865	2,000	2,000
Office Supplies	250	22	16	38	50	50
Dues, Licenses & Subscriptions	175	175	-	175	175	175
Security	3,000	1,215	1,458	2,673	3,000	3,000
TOTAL GENERAL AND ADMINISTRATIVE	\$ 244,469	\$ 113,939	\$ 80,607	\$ 194,546	\$ 338,671	\$ 338,671

Turtle Run
Community Development District
Proposed Budget
General Fund

Description	Adopted Budget Fiscal Year 2026	Actuals Through 4/30/26	Projected Next 5 Months	Projected Through 9/30/26	Proposed Budget Fiscal Year 2027	Proposed Budget Fiscal Year 2027
					\$0 increase	10% rate increase
<u>Operations and Maintenance</u>						
Special Pay	\$ 1,000	\$ 1,000	\$ -	\$ 1,000	\$ 1,000	\$ 1,000
Field Management	80,000	46,667	33,333	80,000	84,800	84,800
Video Monitoring	3,000	1,585	1,130	2,715	3,000	3,000
Internet/Data	2,000	742	846	1,588	2,000	2,000
Electric	105,888	63,858	45,613	109,471	110,000	110,000
Water	11,000	4,798	5,277	10,075	11,000	11,000
Insurance	52,706	49,305	-	49,305	46,840	46,840
Lake Maintenance	34,126	20,350	13,750	34,100	33,990	33,990
Culvert Inspection/Cleaning	15,000	37,450	-	37,450	20,000	20,000
Holiday Lighting/Decorations	77,071	86,901	-	86,901	90,000	90,000
Iguana Removal	7,500	4,375	3,125	7,500	7,500	7,500
Landscape Maintenance	371,392	216,645	154,747	371,392	382,534	382,534
Pest Control/Fertilization	48,600	28,775	20,125	48,900	48,900	48,900
Landscape Replacement/Removal/Additional Services	68,569	44,357	31,684	76,040	76,040	76,040
Annual Tree Trimming	39,000	10,208	28,792	39,000	39,000	39,000
Fountain Maintenance	4,000	2,105	1,525	3,630	4,000	4,000
Fountain Repairs	7,500	3,552	3,125	6,677	7,500	7,500
Irrigation Repairs/Maintenance	28,000	30,934	22,095	53,029	30,000	30,000
Pressure Cleaning	37,070	36,450	-	36,450	37,070	37,070
General Maintenance	20,000	6,335	8,333	14,669	15,000	15,000
Paver Repairs	11,000	3,975	4,583	8,558	9,000	9,000
Lighting/Electrical Repairs	22,000	7,780	9,336	17,116	18,000	18,000
Signs	-	944	-	944	-	-
RPM Replacements	9,000	-	9,000	9,000	9,000	9,000
Rust Preventative TR Park	4,770	2,695	1,925	4,620	4,759	4,759
Flags	3,000	-	1,250	1,250	-	-
Capital Projects Transfer Out	50,000	50,000	-	50,000	-	-
Contingencies	-	-	-	-	-	44,494
TOTAL OPERATIONS AND MAINTENANCE	\$ 1,113,193	\$ 761,786	\$ 399,595	\$ 1,161,381	\$ 1,090,933	\$ 1,135,427
TOTAL EXPENDITURES	\$ 1,357,662	\$ 875,725	\$ 480,202	\$ 1,355,927	\$ 1,429,604	\$ 1,474,098
EXCESS REVENUES (EXPENDITURES)	\$ 0	\$ 488,025	\$ (434,075)	\$ 53,950	\$ -	\$ -

Turtle Run
Community Development District
Budget Narrative
Fiscal Year 2027

REVENUES

Special Assessments - Tax Roll

The District will levy a non-ad valorem assessment on all sold and platted parcels within the District in order to pay for the operating expenditures during the fiscal year.

Interest Income

The District earns interest on the monthly average collected balance for each of their investment accounts.

Expenditures - General and Administrative

Supervisors Fees

Chapter 190 of the Florida Statutes allows for members of the Board of Supervisors to be compensated \$200 per meeting in which they attend. The budgeted amount for the fiscal year is based on all supervisors attending 24 meetings.

FICA Taxes

Payroll taxes on Board of Supervisor's compensation. The budgeted amount for the fiscal year is calculated at 7.65% of the total Board of Supervisor's payroll expenditures.

Assessment Roll

GMS SF, LLC provides assessment services for closing lot sales, assessment roll services with the local tax collector and financial advisory services.

Attorney

The District's attorney, will be providing general legal services to the District, i.e., attendance and preparation for monthly Board meetings, review of contracts, review of agreements and resolutions, and other research assigned as directed by the Board of Supervisors and the District Manager.

Attorney – Special Counsel

The District's special counsel will be providing legal services to the District in connection with the issues related to the improper design and building of entrance feature fountains at Turtle Run Boulevard and Sample Road Entrance.

Annual Audit

The District is required to conduct an annual audit of its financial records by an independent certified public accounting firm.

Arbitrage Rebate

The District is required to annually have an arbitrage rebate calculation on the District's Series 2017-1 and 2017-2 Special Assessment Bonds.

Trustee Fees

The District issued Series 2017-1 and Series 2017-2 Special Assessment Bonds. The amount of the trustee fees is based on the agreement between the trustee and the District.

Management Fees

The District receives management, accounting and administrative services as part of a management agreement with Governmental Management Services-South Florida, LLC. The budgeted amount for the fiscal year is based on the contracted fees outlined in Exhibit "A" of the management agreement.

Information Technology

The District processes all of its financial activities, i.e. accounts payable, financial statements, etc. on a main frame computer leased by Governmental Management Services – South Florida, LLC.

Website Maintenance

Per Chapter 2014-22, Laws of Florida, all Districts must have a website to provide detailed information on the District as well as links to useful websites regarding compliance issues. This website will be maintained by GMS-SF, LLC and updated monthly.

Postage & Delivery

Actual postage and/or freight used for District mailings including agenda packages, vendor checks and other correspondence.

Turtle Run
Community Development District
Budget Narrative
Fiscal Year 2027

Expenditures - General and Administrative (Continued)

Insurance General Liability

The District's general liability and public officials liability insurance policy is with a qualified entity that specializes in providing insurance coverage to governmental agencies. The amount is based upon similar community development districts.

Printing & Binding

Copies used in the preparation of agenda packages, required mailings, and other special projects.

Rental & Leases

The District will be charged \$400 per month for office rent from Governmental Management Services-South Florida, LLC.

Meeting Room

Cost to rent space to hold the monthly board meetings.

Legal Advertising

The District is required to advertise various notices for monthly Board meetings and other public hearings in a newspaper of general circulation.

Other Current Charges

This includes monthly bank charges and any other miscellaneous expenses that incur during the fiscal year.

Office Supplies

Supplies used in the preparation and binding of agenda packages, required mailings, and other special projects.

Due, Licenses & Subscriptions

The District is required to pay an annual fee to the Department of Economic Opportunity community affairs for \$175.

Security

Cost for the police officer to attend the monthly board meetings.

Expenditures - Operations and Maintenance

Special Pay

Special pay is a bonus for exemplary service for on-site field management personnel.

Field Management

The District has contracted with Governmental Management Services-South Florida for the supervision and on-site management of Turtle Run Community Development District. Their responsibilities include reviewing contracts, providing the on-site support during designated times, and other maintenance related items, not to exceed 20 hours of field coverage per week.

Video Monitoring

Services are provided to the District by Blue Stream Fiber.

Internet/Data

The District currently has an account with Verizon Wireless. Services include data coverage for the iPads of the board of supervisors.

Electric

The District is responsible for 16 accounts with Florida Power & Light and this has been budgeted based on historical charges.

Water

The city of Coral Springs provides water service for the roundabout fountain, front entrance fountain and irrigation for landscaping on Wiles Road by the privacy wall.

Insurance

The District's property insurance is with Egis Insurance Advisors, a company that specializes in providing insurance coverage to governmental agencies.

Turtle Run
Community Development District
Budget Narrative
Fiscal Year 2027

Expenditures – Operations and Maintenance (Continued)

Lake Maintenance

Lake maintenance services are provided by Southeast Land and Water Management and includes monthly inspections and treatment of aquatic weeds and algae, herbicide, and algae control and removal.

Culvert Inspection/Cleaning

Annual storm drain inspection and cleaning for storm drains throughout the District that are CDD's responsibility.

Holiday Lighting/Decorations

The District has contracted with Holiday Outdoor Decor for the annual holiday lighting of the District.

Iguana Removal

The District has a contract with Redline Iguana Removal for bi-weekly removal of iguanas snaring, trapping, and shooting.

Landscape Maintenance

Landscape maintenance includes mowing of all the grass areas, pruning of shrubs, weeding of all bedding areas, irrigation maintenance, pest control, and fertilization.

Pest Control/Fertilization

Services include the interior/exterior service treatment of pest, insects, and rodents.

Landscape Replacement/Removal/Additional Services

Replacement and removal of plants and trees throughout the district. Also, includes additional services such as stump grinding and removal, sod replacement, etc.

Annual Tree Trimming

Cost to trim all of the trees throughout the district annually.

Fountain Maintenance

Monthly cleaning for the roundabout fountain and front entrance water features.

Fountain Repairs

Semi annual cleaning of floating fountains, repairs to lights, floats, motor and equipment, and repairs to front entrance fountain equipment.

Irrigation Repairs/Maintenance

Costs to maintain and repair the irrigation system, including making unscheduled repairs and replacements as required.

Pressure Cleaning

Annual pressure cleaning of sidewalks, entrance walls, etc.

General Maintenance

General maintenance includes maintenance and repair work needed throughout the common areas of the District.

Paver Repairs

Costs to repair the pavers throughout the District.

Lighting/Electrical Repairs

Repair and maintenance for entrance feature lighting, wall lights and streetlighting.

RPM Replacements

Replacement of solar RPM in the roundabout.

Rust Preventative TR Park

Chemicals needed for tank attached to irrigation pump in Turtle Run Park and pressure cleaning touch-up.

Contingencies

Unexpected repairs and maintenance that the District should incur during the fiscal year.

Turtle Run
Community Development District
Exhibit "A"
Operating Reserves Schedule

OPERATING RESERVE - OPTION 1

Beginning Fund Balance - 10/1/25	\$ 1,905,656
Estimated Net Change in Fund Balance - Fiscal Year 2026	53,950

Total Funds Available (Estimated) - 9/30/26	1,959,606
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ALLOCATION OF AVAILABLE FUNDS

Funding for First Quarter Operating Expenditures	(357,401)
Reserved for Emergency Fund	(578,171)
Use of Fund Balance for Fiscal Year 2027 Budget	(82,942)

Total Allocation of Available Funds	(1,018,514)
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Total Unassigned (Undesignated) Cash	\$ 941,092
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OPERATING RESERVE - OPTION 2

Beginning Fund Balance - 10/1/25	\$ 1,905,656
Estimated Net Change in Fund Balance - Fiscal Year 2026	53,950

Total Funds Available (Estimated) - 9/30/26	1,959,606
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ALLOCATION OF AVAILABLE FUNDS

Funding for First Quarter Operating Expenditures	(368,525)
Reserved for Emergency Fund	(578,171)

Total Allocation of Available Funds	(946,696)
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Total Unassigned (Undesignated) Cash	\$ 1,012,910
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Turtle Run
Community Development District
Proposed Budget
Debt Service Series 2017 Special Assessment Bonds

Description	Adopted Budget Fiscal Year 2026	Actuals Through 4/30/26	Projected Next 5 Months	Projected Through 9/30/26	Proposed Budget Fiscal Year 2027
REVENUES:					
Special Assessments - Tax Roll	\$ 445,623	\$ 447,766	\$ 5,341	\$ 453,107	\$ 445,623
Interest Income	-	14,548	2,500	17,048	-
Carry Forward Surplus ⁽¹⁾	325,677	-	332,910	332,910	356,019
TOTAL REVENUES	\$ 771,301	\$ 462,314	\$ 340,751	\$ 803,065	\$ 801,642
EXPENDITURES:					
Series 2017-1					
Interest - 11/1	\$ 46,448	\$ 46,448	\$ (0)	\$ 46,448	\$ 45,201
Special Call - 11/1	-	5,000	-	5,000	-
Interest - 5/1	46,448	-	46,448	46,448	45,201
Principal - 5/1	90,000	-	90,000	90,000	95,000
Series 2017-2					
Interest - 11/1	84,575	84,575	-	84,575	82,775
Interest - 5/1	84,575	-	84,575	84,575	82,775
Principal - 5/1	90,000	-	90,000	90,000	95,000
TOTAL EXPENDITURES	\$ 442,046	\$ 136,023	\$ 311,023	\$ 447,046	\$ 445,951
EXCESS REVENUES (EXPENDITURES)	\$ 329,255	\$ 326,291	\$ 29,728	\$ 356,019	\$ 355,691

⁽¹⁾ Carry Forward is Net of Reserve Requirement

Interest Due 11/1/27	\$124,769.38
	\$124,769.38

Turtle Run
Community Development District
AMORTIZATION SCHEDULE
Debt Service Series 2017-1 Special Assessment Bonds

Period	Outstanding Balance	Principal	Interest
05/01/26	\$ 2,845,000	\$ 90,000	\$ 46,370.63
11/01/26	2,755,000	-	45,200.63
05/01/27	2,755,000	95,000	45,200.63
11/01/27	2,660,000	-	43,894.38
05/01/28	2,660,000	95,000	43,894.38
11/01/28	2,565,000	-	42,528.75
05/01/29	2,565,000	100,000	42,528.75
11/01/29	2,465,000	-	40,978.75
05/01/30	2,465,000	100,000	40,978.75
11/01/30	2,365,000	-	39,428.00
05/01/31	2,365,000	105,000	39,428.75
11/01/31	2,260,000	-	37,801.25
05/01/32	2,260,000	110,000	37,801.25
11/01/32	2,150,000	-	36,096.25
05/01/33	2,150,000	115,000	36,096.25
11/01/33	2,035,000	-	34,227.50
05/01/34	2,035,000	115,000	34,227.50
11/01/34	1,920,000	-	32,358.75
05/01/35	1,920,000	120,000	32,358.75
11/01/35	1,800,000	-	30,408.75
05/01/36	1,800,000	125,000	30,408.75
11/01/36	1,675,000	-	28,377.50
05/01/37	1,675,000	130,000	28,377.50
11/01/37	1,545,000	-	26,265.00
05/01/38	1,545,000	135,000	26,265.00
11/01/38	1,410,000	-	23,970.00
05/01/39	1,410,000	135,000	23,970.00
11/01/39	1,275,000	-	21,675.00
05/01/40	1,275,000	140,000	21,675.00
11/01/40	1,135,000	-	19,295.00
05/01/41	1,135,000	145,000	19,295.00
11/01/41	990,000	-	16,830.00
05/01/42	990,000	150,000	16,830.00
11/01/42	840,000	-	14,280.00
05/01/43	840,000	155,000	14,280.00
11/01/43	685,000	-	11,645.00
05/01/44	685,000	160,000	11,645.00
11/01/44	525,000	-	8,925.00
05/01/45	525,000	170,000	8,925.00
11/01/45	355,000	-	6,035.00
05/01/46	355,000	175,000	6,035.00
11/01/46	180,000	-	3,060.00
05/01/47	180,000	180,000	3,060.00
Total		\$2,845,000	\$1,172,932

Turtle Run
Community Development District
AMORTIZATION SCHEDULE
Debt Service Series 2017-2 Special Assessment Bonds

Period	Outstanding Balance	Principal	Interest
05/01/26	\$ 3,440,000	\$ 90,000	\$ 84,575.00
11/01/26	3,350,000	-	82,775.00
05/01/27	3,350,000	95,000	82,775.00
11/01/27	3,255,000	-	80,875.00
05/01/28	3,255,000	100,000	80,875.00
11/01/28	3,155,000	-	78,875.00
05/01/29	3,155,000	100,000	78,875.00
11/01/29	3,055,000	-	76,375.00
05/01/30	3,055,000	105,000	76,375.00
11/01/30	2,950,000	-	73,750.00
05/01/31	2,950,000	115,000	73,750.00
11/01/31	2,835,000	-	70,875.00
05/01/32	2,835,000	120,000	70,875.00
11/01/32	2,715,000	-	67,875.00
05/01/33	2,715,000	125,000	67,875.00
11/01/33	2,590,000	-	64,750.00
05/01/34	2,590,000	130,000	64,750.00
11/01/34	2,460,000	-	61,500.00
05/01/35	2,460,000	140,000	61,500.00
11/01/35	2,320,000	-	58,000.00
05/01/36	2,320,000	145,000	58,000.00
11/01/36	2,175,000	-	54,375.00
05/01/37	2,175,000	155,000	54,375.00
11/01/37	2,020,000	-	50,500.00
05/01/38	2,020,000	160,000	50,500.00
11/01/38	1,860,000	-	46,500.00
05/01/39	1,860,000	170,000	46,500.00
11/01/39	1,690,000	-	42,250.00
05/01/40	1,690,000	175,000	42,250.00
11/01/40	1,515,000	-	37,875.00
05/01/41	1,515,000	185,000	37,875.00
11/01/41	1,330,000	-	33,250.00
05/01/42	1,330,000	195,000	33,250.00
11/01/42	1,135,000	-	28,375.00
05/01/43	1,135,000	205,000	28,375.00
11/01/43	930,000	-	23,250.00
05/01/44	930,000	215,000	23,250.00
11/01/44	715,000	-	17,875.00
05/01/45	715,000	225,000	17,875.00
11/01/45	490,000	-	12,250.00
05/01/46	490,000	240,000	12,250.00
11/01/46	250,000	-	6,250.00
05/01/47	250,000	250,000	6,250.00
Total		\$3,440,000	\$2,221,375

Turtle Run
Community Development District
Non-Ad Valorem Assessments Comparison

Unit Type	Acres	Bonds Units 2017	Annual Maintenance Assessments			Annual Debt Assessments			Total Assessed Per Acre		
			Fiscal Year 2027	Fiscal Year 2026	Increase/ (Decrease)	Fiscal Year 2027	Fiscal Year 2026	Increase/ (Decrease)	Fiscal Year 2027	Fiscal Year 2026	Increase/ (Decrease)
Option 1 - \$0 Increase											
Series 2017-1											
Residential-Single Family	108.74	108.74	\$4,348.34	\$4,348.34	\$0.00	\$1,456.70	\$1,456.70	\$0.00	\$5,805.04	\$5,805.04	\$0.00
Condo-Cypress Pointe	26.72	26.72	\$4,348.34	\$4,348.34	\$0.00	\$1,456.70	\$1,456.70	\$0.00	\$5,805.04	\$5,805.04	\$0.00
Series 2017-2											
Apartment-The Grove	32.41	32.41	\$4,348.34	\$4,348.34	\$0.00	\$1,602.03	\$1,602.03	\$0.00	\$5,950.37	\$5,950.37	\$0.00
Apartment-Park Place	17.49	17.49	\$4,348.34	\$4,348.34	\$0.00	\$1,602.03	\$1,602.03	\$0.00	\$5,950.37	\$5,950.37	\$0.00
Apartments-The Park	13.92	13.92	\$4,348.34	\$4,348.34	\$0.00	\$1,602.03	\$1,602.03	\$0.00	\$5,950.37	\$5,950.37	\$0.00
Commercial	112.52	112.52	\$4,348.34	\$4,348.34	\$0.00	\$1,552.53	\$1,552.53	\$0.00	\$5,900.87	\$5,900.87	\$0.00
Total Acres	311.8	311.8									

Unit Type	Acres	Bonds Units 2017	Annual Maintenance Assessments			Annual Debt Assessments			Total Assessed Per Acre		
			Fiscal Year 2027	Fiscal Year 2026	Increase/ (Decrease)	Fiscal Year 2027	Fiscal Year 2026	Increase/ (Decrease)	Fiscal Year 2027	Fiscal Year 2026	Increase/ (Decrease)
Option 1 - 10% Increase											
Series 2017-1											
Residential-Single Family	108.74	108.74	\$4,783.17	\$4,348.34	\$434.83	\$1,456.70	\$1,456.70	\$0.00	\$6,239.87	\$5,805.04	\$434.83
Condo-Cypress Pointe	26.72	26.72	\$4,783.17	\$4,348.34	\$434.83	\$1,456.70	\$1,456.70	\$0.00	\$6,239.87	\$5,805.04	\$434.83
Series 2017-2											
Apartment-The Grove	32.41	32.41	\$4,783.17	\$4,348.34	\$434.83	\$1,602.03	\$1,602.03	\$0.00	\$6,385.20	\$5,950.37	\$434.83
Apartment-Park Place	17.49	17.49	\$4,783.17	\$4,348.34	\$434.83	\$1,602.03	\$1,602.03	\$0.00	\$6,385.20	\$5,950.37	\$434.83
Apartments-The Park	13.92	13.92	\$4,783.17	\$4,348.34	\$434.83	\$1,602.03	\$1,602.03	\$0.00	\$6,385.20	\$5,950.37	\$434.83
Commercial	112.52	112.52	\$4,783.17	\$4,348.34	\$434.83	\$1,552.53	\$1,552.53	\$0.00	\$6,335.70	\$5,900.87	\$434.83
Total Acres	311.8	311.8									

**NOTICE OF QUALIFYING PERIOD FOR CANDIDATES FOR THE
BOARD OF SUPERVISORS OF THE
TURTLE RUN COMMUNITY DEVELOPMENT DISTRICT**

Notice is hereby given that the qualifying period for candidates for the office of Supervisor of the [Turtle Run Community Development District](#) will commence at [noon on June 8, 2026](#), and close at [noon on June 12, 2026](#). Candidates must qualify for the office of Supervisor with the [Broward County Supervisor of Elections](#) located at [4650 NW 21st Ave, Fort Lauderdale, FL 33309](#) and the telephone number is [954-357-8683](#). All candidates shall qualify for individual seats in accordance with section 99.061, Florida Statutes, and must also be qualified electors of the District. A qualified elector is any person at least 18 years of age who is a citizen of the United States, a legal resident of the State of Florida and of the District, and who is registered to vote with the [Broward County](#) Supervisor of Elections. Campaigns shall be conducted in accordance with Chapter 106, Florida Statutes.

The [Turtle Run Community Development District](#) has [three seats](#) up for election, specifically [seat #1, seat #2 and seat #3](#). Each seat carries a four-year term of office. Elections are nonpartisan and will be held at the same time as the general election on [November 3, 2026](#), in the manner prescribed by law for general elections.

For additional information, please contact the [Broward County](#) Supervisor of Elections.

MEMORANDUM

To: CDD & Special District Manager

From: Patricia Santiago
Director, Administration

Date: April 27, 2026

Subject: 2026 Candidate Qualifying

In preparation for the upcoming candidate qualifying period for Special Districts and Community Development Districts (CDDs), which begins at **noon on Monday, June 8, 2026, and concludes at noon on Friday, June 12, 2026**, this office would like to provide you with important information to help facilitate a smooth process.

Please share the important information listed below with your candidates.

- The Supervisor of Elections Office will accept and hold qualifying papers beginning **Monday, May 25, 2026** to be processed and filed during the qualifying period.
- [Form DS-DE 9](#) (eff. 09/2023) **Appointment of Campaign Treasurer** is only required for candidates who intend to accept contributions or make expenditures in connection with his/her campaign.
- [Form DS-DE 84](#) (eff. 04/2026) **Statement of Candidate** must be filed within 10 days after filing Form DS-DE 9.
- [Affidavit of Intent](#) is to be completed only if the candidate is not expecting to accept contributions.
- [Form 1 Statement of Financial Interest for 2025](#) must be filed electronically with the Florida Commission on Ethics. A copy must be provided during qualifying.
- [Form DS-DE 302NP-E Corr](#) (eff. 04/2026) **Candidate Oath Non-Partisan Office** (must be properly executed). This form, like all others required, can be downloaded from the Division of Elections website, [Forms - Division of Elections - Florida Department of State](#).
- Special District candidates shall pay a \$25 qualifying fee. The qualifying fee can be paid with a personal check, money order, or cash. Check/money order should be made payable to Broward County Supervisor of Elections.

We hope that this information is helpful to you and your candidates. Please feel free to contact Shameika Williams at Shameika.w@browardvotes.gov should you have any questions regarding qualifying.



Landshore Enterprises, LLC

Soil Erosion Control & Shoreline Restoration Experts
 Shoreline stabilization/Environmental Engineering/Construction Management
 d/b/a Erosion Restoration, LLC

Turtle Run Community Development District
 c/o: Governmental Management Services - South Florida, LLC
 Attn: Mr. Patrick Burgess
 5385 N. Nob Hill Road
 Sunrise, FL 33351

ESTIMATE #4438

Date: 5/6/2026

Project: Repair of Outfall Pipe / Headwall

JOB SCOPE

Please refer to the erosion and sedimentation control plans dated May 6th, 2026.

ITEMIZED ESTIMATE: TIME AND MATERIALS

<u>Section</u>	<u>Description</u>	<u>Units</u>	<u>Estimated Quantities</u>	<u>Total</u>
	Mobilization / General preparation	Lump Sum	1	
	Floating Turbidity Barrier	Linear Feet	100	
	Clearing and Grubbing	Lump Sum	1	
	Regular Excavation	Cubic Yard	114.81	
	Embankment	Cubic Yard	16.67	
	Non-woven Filter Fabric	Square Yard	202.13	
	Fabric Formed Concrete 6inch Thickness	Square Yard	213.10	
	Rock Rip Rap 9" to 16"	Tons	2	
	Erosion Control Blanket	Square Feet	240	
	Sod Including Access Area	Square Feet	2,800	
	Demobilization	Lump Sum	1	

TOTAL JOB COST \$44,078.40

Excluding any permit fees and fees for a payment and performance bond, if any.

PAYMENT SCHEDULE

Landshore® Enterprises' payment policy is as follows:

10% Booking Fee	\$4,407.84
40% Mobilization Fee	\$17,631.36
40% Progress Invoice	\$17,631.36
10% Completion of project	\$4,407.84

****Terms: Net 15****
****Interest will be charged at 1.5% per month on past due invoices****



Landshore Enterprises, LLC

*Soil Erosion Control & Shoreline Restoration Experts
Shoreline stabilization/Environmental Engineering/Construction Management
d/b/a Erosion Restoration, LLC*

SPECIAL CONDITIONS

1. Landshore® is not responsible for damage to utilities outside of easement along shoreline if as-built drawings or locations are not provided by the Client.
2. Landshore® reserves the right to change this estimate unless an agreement is reached within 60 days of the original estimate date.
3. Landshore® is not responsible for removing or installing any electric work or cables.
4. At this time, staging areas and site access has not been defined by Client. Therefore, any damages caused to access (curbing, sidewalk, road, etc.) are not included in this estimate.
5. Landshore® is not responsible for any damages to the work by any natural disaster.
6. Following sod installation, any sod activities, such as watering, is to be administered by Owner(s).
- 7. All information provided by Landshore® is to be shared only with the Owner(s) and those with authority to make decisions on behalf of the Owner(s). This information is by no means to be shared to solicit competing entities.**
- 8. The Client is responsible to adhere to all applicable Federal, State, County, City, District and any other municipal or local laws, regulations, rules, ordinances and guidelines. Unless specifically hired to obtain all necessary permits - Landshore® will not be liable for any construction or design issues, violations, fines or claims received due to nonconformance and noncompliance to standards or absence of permits (submittal of permit application does not guarantee the approval, additional services such as expediting, meetings with reviewer, etc. may be performed at an hourly rate, at the Client's request).**

This proposal is for completing the job described above, based on our evaluation. It does not include unforeseen price increases or additional labor and materials which may be required should problems arise.

Client's Representative Signature

Date

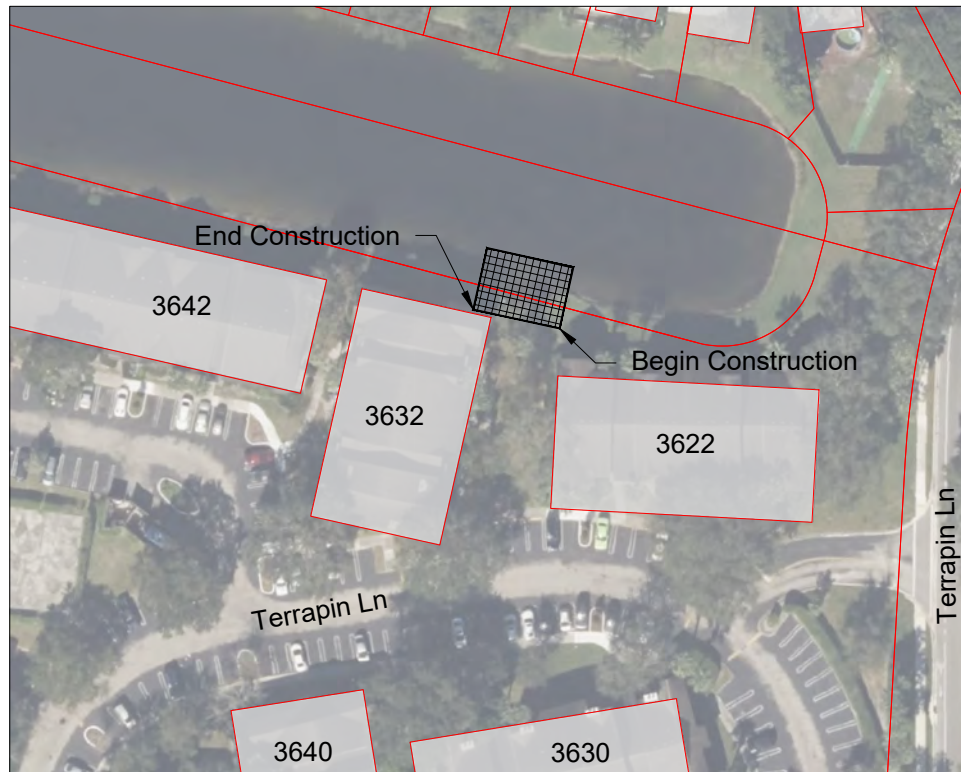
Landshore Enterprises Representative Signature

Date

Erosion and Sedimentation Control Plan For the Avana Apartments Pipe Outfall

PROJECT NOTES:

1. FDEP NPDES CONSTRUCTION GENERAL PERMIT (CGP), SFWMD ERP DESIGN CRITERIA, AND BROWARD COUNTY LAND DISTURBANCE ORDINANCE. REFERENCE FDOT INDICES ONLY FOR SPECIFIC CONSTRUCTION ITEMS WHERE DIRECTLY APPLICABLE (E.G., TURBIDITY BARRIER, SILT FENCE INSTALLATION DETAILS).
2. PLANS WERE PREPARED ACCORDING TO INFORMATION COLLECTING IN THE FIELD WITH SURVEYING INSTRUMENTS, HISTORICAL DATA FROM PUBLICLY AVAILABLE SOURCES, AND BROWARD COUNTY GIS DATA ON PARCELS, LOTS, ROADWAY, ETC.
3. THIS IS NOT A BOUNDARY SURVEY.
4. DRAINAGE DISTRICT: SOUTH FLORIDA WATER MANAGEMENT DISTRICT.
5. MEASURING WAS PERFORMED ON APRIL 13, 2026 BY LANDSHORE ENTERPRISES, LLC.
6. THE SCALES OF THE PLANS MAY HAVE CHANGE DUE TO REPRODUCTION, PLAN SHEETS ARE RECOMMENDED TO BE PRINTED OR PLOTTED ON 11"X17" PAPER.
7. COORDINATE SYSTEMS HEREON FOR THE HORIZONTAL SYSTEM ARE BASED ON NORTH AMERICA DATUM OF 1983 (NAD 83) FLORIDA STATES PLANES, EAST ZONE AND FOR THE VERTICAL SYSTEM ARE BASED ON NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88), AND THE UNITS ARE BASED ON US FOOT.
8. THE BEARINGS VALUES SHOWN HEREON ARE BASED ON GPS/RTK OBSERVATIONS AND RTK CORRECTIONS FROM THE FLORIDA DEPARTMENT OF TRANSPORTATION, FLORIDA PERMANENT REFERENCE NETWORK.
9. CONTRACTOR SHALL CONTACT SUNSHINE STATE ONE-CALL AT 1-(800)-432-4770 AT LEAST 48 HOURS PRIOR TO PERFORMING ANY DIGGING TO VERIFY THE EXACT LOCATION OF EXISTING UTILITIES. A CONTRACTOR'S REPRESENTATIVE MUST BE PRESENT WHEN UTILITY COMPANIES LOCATE THEIR FACILITIES.



SITE LOCATION MAP

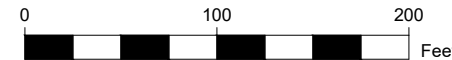
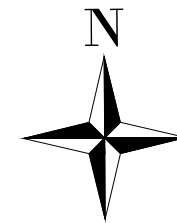
SCALE: 1" = 100'

Legal Description:

TURTLE RUN 131-12 B PARCEL Q-1

Site Address:

3600 Terrapin Ln, Coral Springs, FL 33067
Parcel ID: 484113012720



Begin Construction:

26.276958, -80.209292

26°16'37.1"N 80°12'33.5"W

End Construction:

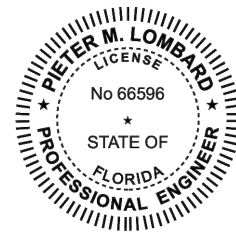
26.276989, -80.209428

26°16'37.2"N 80°12'33.9"W

May 6, 2026

THIS ITEM HAS BEEN DIGITALLY SIGNED AND SEALED BY PIETER M. LOMBARD ON THE DATE ADJACENT TO THE SEAL.

PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.

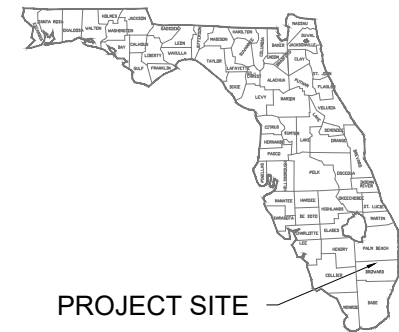


ENGINEER: PIETER M. LOMBARD

66596

FLORIDA PROFESSIONAL ENGINEER
LICENSE NUMBER

LOCATION MAP



PROJECT SITE

INDEX OF SHEETS

SHEET NO	SHEET DESCRIPTION
1	COVER SHEET
2	GENERAL NOTES
3	LEGEND AND ABBREVIATIONS
4	AERIAL SITE PLAN
5	EROSION CONTROL AND SITE LAYOUT PLAN
6	CROSS SECTIONS
7	MANUFACTURER'S SPECIFICATIONS

PREPARED FOR

**Turtle Run Community
Development District**

5385 N. Nob Hill Road, Sunrise, Florida 33351

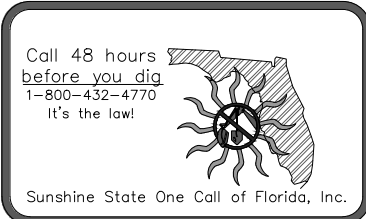
PREPARED BY



Landshore Enterprises, LLC
"Your Shoreline Protection Specialists"
118 Shamrock Blvd.,
Venice, FL 34293
Office: 941-303-5238
E-mail: info@landshore.com

DESIGNED BY: NV
DRAWN BY: JP
CHECKED BY: AVDB
APPROVED BY: PML
PROJECT NO: 2026-036

SHEET 1
OF 7



REVISIONS	DATE	BY

GENERAL NOTES

- ALL CONSTRUCTION AND MATERIALS SHALL CONFORM TO THE STANDARDS AND SPECIFICATIONS OF GOVERNMENT ENTITIES WHICH WILL APPLY, AND ALL OTHER LOCAL AND NATIONAL CODES WHERE APPLICABLE.
- ALL CONSTRUCTION SHALL BE PERFORMED IN A SAFE MANNER, SPECIFICALLY, THE RULES AND REGULATIONS OF THE OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) AND THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) SHALL BE STRICTLY OBSERVED.
- CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS PRIOR TO COMMENCING CONSTRUCTION.
- UPON RECEIPT OF NOTICE OF AWARD AND AFTER OBTAINING AN ENGINEERING CONSTRUCTION PERMIT FROM APPLICABLE AGENCIES, THE CONTRACTOR SHALL ARRANGE A PRE-CONSTRUCTION CONFERENCE TO INCLUDE CLIENT, THE CONTRACTOR, AND THE ENGINEER.
- CONTRACTOR SHALL CONTACT STATE 811, AT LEAST 48 HOURS PRIOR TO PERFORMING ANY DIGGING TO VERIFY THE EXACT LOCATION OF EXISTING UTILITIES. A CONTRACTOR'S REPRESENTATIVE MUST BE PRESENT WHEN UTILITY COMPANIES LOCATE THEIR FACILITIES.
- THE CONTRACTOR IS TO USE CAUTION WHEN WORKING IN OR AROUND AREAS OF OVERHEAD AND UNDERGROUND UTILITIES.
- EXISTING UNDERGROUND UTILITIES, IF SHOWN ON THE DRAWINGS, HAVE BEEN SHOWN BASED UPON THE BEST AVAILABLE INFORMATION. THE CONTRACTOR SHALL BE REQUIRED TO MARK AND CLEARLY DELINEATE LOCATIONS OF EXISTING UTILITIES WITHIN AREAS OF WORK PRIOR TO EXCAVATION TO AVOID DAMAGE. THE CONTRACTOR SHALL MAKE ALL REASONABLE EFFORTS TO LOCATE, IDENTIFY AND MARK EXISTING UTILITIES BY FIELD VERIFICATION, COORDINATION WITH UTILITY COMPANIES AND ELECTRONIC OR OTHER SUCH DETECTION TECHNOLOGY AND MEANS AND SHALL BEAR ALL COSTS FOR THIS WORK.
- IF SHOWN ON BLUE PRINT, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL REPAIRS AND COSTS TO CORRECT DAMAGES RESULTING FROM FAILURE TO TAKE ALL NECESSARY PRECAUTIONS INCLUDING LOCATING, MARKING AND CAREFUL EXCAVATION. (CONTRACTOR SHALL AVOID DAMAGING EXISTING IRRIGATION SYSTEMS. IN CASE OF DAMAGE, THE CONTRACTOR MUST REPLACE IRRIGATION SYSTEM TO MATCH THE EXISTING CONDITION AND LOCATIONS).
- IF UPON EXCAVATION, AN EXISTING UTILITY IS FOUND TO BE IN CONFLICT WITH THE PROPOSED CONSTRUCTION OR TO BE OF A SIZE OR MATERIAL DIFFERENT FROM THAT SHOWN ON THE PLANS, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER.
- CONTRACTOR SHALL PROVIDE HIS OWN LINE AND GRADE FROM HORIZONTAL AND VERTICAL CONTROL.
- FOR EACH PROJECT AREA, VERTICAL CONTROL IS BASED ON THE NORTH AMERICAN VERTICAL DATUM 1988 (NAVD 88)
- ANY N.A.V.D. BENCH MARK MONUMENTS WITHIN THE LIMITS OF CONSTRUCTION IS TO BE PROTECTED AND PROPERLY REFERENCED BY A REGISTERED-PROFESSIONAL ENGINEER IN ACCORDANCE WITH THE MINIMUM TECHNICAL STANDARDS OF THE STATE BOARD OF PROFESSIONAL LAND SURVEYORS PRIOR TO BEGINNING WORK AT THE SITE.
- ALL STATIONS AND OFFSETS REFER TO [BASELINE] OF CONSTRUCTION, UNLESS OTHERWISE STATED.
- CONTRACTOR SHALL NOT SCALE DIMENSIONS FROM PLANS FOR CONSTRUCTION PURPOSES.
- THE CONTRACTOR IS ALERTED TO THE PRESENCE OF UNDERGROUND WIRES AND POLES IN THE PROJECT AREA. THE METHOD OF CONSTRUCTION IN THESE LOCATIONS MUST COMPLY WITH ALL OSHA SAFETY STANDARDS. THE CONTRACTOR SHALL INSPECT THESE SITES AND BE RESPONSIBLE FOR DETERMINING WHAT METHOD OF PREPARATION AND CONSTRUCTION WILL BE USED TO COMPLY WITH THESE REQUIREMENTS.
- THE CONTRACTOR SHALL NOTIFY THE CLIENT AT LEAST 24 HOURS PRIOR TO BEGINNING OF WORK.
- WHERE MATERIAL OR DEBRIS HAS WASHED OR FLOWED INTO OR BEEN PLACED IN WATER COURSES, GRAVITY SEWER, DITCHES, DRAINS, CATCH BASINS, OR ELSEWHERE AS A RESULT OF THE CONTRACTOR'S OPERATIONS, SUCH MATERIAL OR DEBRIS SHALL BE REMOVED AND SATISFACTORILY DISPOSED OF DURING PROGRESS OF THE WORK, AND THE AREA KEPT IN A CLEAN AND NEAT CONDITION.
- THE CONTRACTOR SHALL RESTORE OR REPLACE, WHEN AND AS DIRECTED BY THE CLIENT ANY PUBLIC OR PRIVATE PROPERTY DAMAGED BY THE WORK, EQUIPMENT, EMPLOYEES OR SUBCONTRACTORS TO A CONDITION AT LEAST EQUAL TO THAT EXISTING IMMEDIATELY PRIOR TO THE BEGINNING OF OPERATIONS.

- CONTRACTOR SHALL MAINTAIN EXISTING TRAFFIC FLOW PATTERNS THROUGHOUT ALL WORK OPERATIONS. MAINTENANCE OF TRAFFIC IN THE PUBLIC RIGHT-OF-WAY SHALL BE IN ACCORDANCE WITH THE CITY, STATE AND LOCAL GOVERNMENT CODES.
- ALL EXCAVATIONS SHALL COMPLY WITH OSHA'S EXCAVATION SAFETY STANDARDS AND TRENCH SAFETY CODES, CONTRACTOR SHALL FURNISH THE OWNER WITH WRITTEN ASSURANCE THAT HE WILL COMPLY WITH THESE REGULATIONS.
- THE PROJECT SITE AND ALL ADJACENT AREAS SHALL BE MAINTAINED IN A NEAT AND CLEAN MANNER. UPON FINAL CLEAN UP, THE PROJECT SITE SHALL BE LEFT CLEAR OF ALL SURPLUS MATERIAL OR TRASH.
- CONTRACTOR IS TO VERIFY THE EXACT LOCATION OF ALL EXISTING TREES, STRUCTURES AND UTILITIES WHICH MAY NOT BE SHOWN ON PLANS. ANY STRUCTURE, PAVEMENT, TREES OR OTHER EXISTING IMPROVEMENT NOT SPECIFIED FOR REMOVAL WHICH IS TEMPORARILY DAMAGED, EXPOSED OR IN ANY WAY DISTURBED BY CONSTRUCTION PERFORMED UNDER THIS CONTRACT, SHALL BE REPAIRED, PATCHED OR REPLACED AT NO ADDITIONAL COST TO THE OWNER.
- CONTRACTOR TO RELOCATE TREES AS DIRECTED BY THE CLIENT. CONTRACTOR SHALL AVOID DAMAGE TO ANY EXISTING TREES TO REMAIN. EXISTING TREES SHALL BE REMOVED ONLY IF REQUIRED FOR CONSTRUCTION. THOSE TREES NOT INTERFERING WITH CONSTRUCTION SHALL BE PROTECTED IN PLACE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING OR REPLACING AT HIS OWN EXPENSE ANY ITEMS, INCLUDING BUT NOT LIMITED TO NEARBY PROPERTIES AND EXISTING DRAINAGE INFRASTRUCTURE, DAMAGED DUE TO HIS PERSONNEL OR EQUIPMENT INSIDE AND/OR OUTSIDE OF THE CONSTRUCTION AREA.
- CONTRACTOR SHALL ENSURE THAT ALL MUD OR ANY OTHER TYPE OF DEBRIS IS CLEANED FROM ADJACENT ROADWAYS (WHERE APPLICABLE) AT THE END OF EACH DAY. CONTRACTOR SHALL BE LIABLE FOR ANY PERSONAL OR PROPERTY DAMAGE CAUSED BY ANY TYPE OF DEBRIS LEFT ON ROADWAYS AND/OR PEDESTRIAN WAYS.
- CONTRACTOR SHALL AVOID DAMAGING EXISTING IRRIGATION SYSTEMS. IF PLANS AND BLUEPRINTS ARE NOT PROVIDED OR AVAILABLE THE CONTRACTOR WILL NOT BE RESPONSIBLE.
- THE INFORMATION PROVIDED IN THESE DRAWINGS IS SOLELY TO ASSIST THE CONTRACTOR IN ASSESSING THE NATURE AND EXTENT OF CONDITIONS WHICH WILL BE ENCOUNTERED DURING THE COURSE OF WORK. THE CONTRACTORS ARE DIRECTED, PRIOR TO BIDDING, TO CONDUCT WHATEVER INVESTIGATIONS THEY DEEM NECESSARY TO ARRIVE AT THEIR OWN CONCLUSION REGARDING THE ACTUAL CONDITIONS THAT WILL BE ENCOUNTERED, AND UPON WHICH BIDS WILL BE BASED.

- FLOATING TURBIDITY BARRIERS SHALL BE INSTALLED AND MAINTAINED AS CLOSE AS POSSIBLE TO THE CONSTRUCTION OPERATION UPSTREAM AND DOWNSTREAM OF CANALS. TURBIDITY BARRIERS SHALL BE INSTALLED IN ACCORDANCE WITH THE PLANS AND DETAILS.
- TURBIDITY BARRIERS SHALL BE PROPERLY EMPLOYED AND MAINTAINED AS NECESSARY DURING CONSTRUCTION ACTIVITIES SO THAT TURBIDITY LEVELS DO NOT EXCEED 29 NTU'S ABOVE NATURAL BACKGROUND 50 FEET DOWNSTREAM OF POINT OF DISCHARGE. IF TURBIDITY LEVELS EXCEED THESE LIMITS, PROJECT ACTIVITIES SHALL IMMEDIATELY CEASE, AND WORK SHALL NOT RESUME UNTIL TURBIDITY LEVELS DROP TO WITHIN THESE LIMITS.
- CONTRACTOR SHALL SOD GRASS AREAS DAMAGED DURING CONSTRUCTION AT NO ADDITIONAL COST TO OWNER.
- CONTRACTOR SHALL COMPLY WITH THE REQUIREMENTS OF THE ENVIRONMENTAL PROTECTION AGENCY (EPA) AND THE NATIONAL POLLUTION DISCHARGE ELIMINATION SYSTEM (NPDES).
- IF 1 ACRE OR MORE IS DISTURBED, A NPDES GENERAL PERMIT IS REQUIRED.

FIELD MEASURING GENERAL NOTES


- THE DATA USED FOR THE RIGHT OF WAY AND/OR PROPERTY CORNERS OR LINES WERE FROM COUNTY DIGITALS.
- THIS IS NOT A BOUNDARY SURVEY.
- COORDINATE SYSTEMS HEREON FOR THE HORIZONTAL SYSTEM ARE BASED ON NORTH AMERICA DATUM OF 1983 (NAD 83) FLORIDA STATES PLANES, EAST ZONE AND FOR THE VERTICAL SYSTEM ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88), AND THE UNITS ARE BASED ON US FOOT.
- THE BEARINGS VALUES SHOWN HEREON ARE BASED ON GPS/RTK OBSERVATIONS AND RTK CORRECTIONS FROM THE FLORIDA DEPARTMENT OF TRANSPORTATION, FLORIDA PERMANENT REFERENCE NETWORK.
- THE PROJECT MEASUREMENTS WERE PERFORMED WITHOUT THE BENEFIT OF A TITLE ABSTRACT; THEREFORE, THERE MAY BE RECORDED AND UNRECORDED INSTRUMENTS AFFECTING THE SUBJECT PARCEL THAT ARE NOT SHOWN HEREON.
- ELEVATION DATUM: ALL ELEVATIONS SHOWN ARE REFERENCED TO NAVD 88. TO CONVERT PROJECT ELEVATION TO NGVD 29, ADD 1.55 FEET, BASED ON THE NGS COORDINATE CONVERSION AND TRANSFORMATION TOOL (NCAT) (<https://geodesy.noaa.gov/NCAT/>).
- DISTANCES SHOWN HEREON ARE IN U.S. FEET.
- DATE OF FIELDWORK: 04/13/2026.

SOIL EROSION, SEDIMENT, AND TURBIDITY CONTROL GENERAL NOTES


- THIS PROJECT IS SUBJECT TO ALL RELATED ENVIRONMENTAL REQUIREMENTS WHICH INCLUDE A "CONTROL OF EROSION AND SEDIMENTATION PLAN". THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING NECESSARY AND ADEQUATE MEASURES FOR PROPER CONTROL OF EROSION DUE TO SEDIMENTATION RUNOFF FROM THE SITE PRIOR TO CONSTRUCTION OPERATIONS IN A PARTICULAR AREA. ALL SEDIMENTATION AND EROSION CONTROL MEASURES SHALL BE IN PLACE PRIOR TO START OF CONSTRUCTION. FIELD ADJUSTMENTS WITH RESPECT TO LOCATIONS AND DIMENSIONS MAY BE MADE BY THE ENGINEER AS REQUIRED.
- EROSION CONTROL MEASURES INSPECTED MUST BE AT LEAST ONCE EVERY SEVEN CALENDAR DAYS AND WITHIN 24 HOURS OF THE END OF THE STORM EVENT OF 0.5 INCHES GREATER. WEEKLY AND AFTER EACH RAIN FOR DAMAGE AND GENERAL EFFECTIVENESS, ANY DAMAGED OR INEFFECTIVE CONTROLS SHALL BE REPAIRED OR REPLACED BY THE CONTRACTOR.
- ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES WILL BE INSTALLED, IF DEEMED NECESSARY, BY THE ON-SITE INSPECTOR.
- EROSION CONTROL MEASURES WILL BE MAINTAINED AT ALL TIMES. TEMPORARY AND PERMANENT MAINTENANCE OF ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
- ALL TEMPORARY SEDIMENT CONTROL DEVICES SHALL BE LEFT IN PLACE AND MAINTAINED UNTIL THE AREA HAS BEEN COMPLETELY STABILIZED WITH PERMANENT VEGETATION.
- ALL CONSTRUCTION EXITS SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOW OF MUD ON TO ANY PUBLIC RIGHT-OF-WAY. THIS SHALL REQUIRE PERIODIC TOP DRESSING WITH STONE, AS CONDITIONS REQUIRE. ALL MATERIALS SPILLED, DROPPED, WASHED OR TRACKED ON TO PUBLIC RIGHT-OF-WAY OR INTO STORM DRAINS SHALL BE PROMPTLY REMOVED BY CONTRACTOR.

REVISIONS		
DATE	BY	DESCRIPTION

Erosion and Sedimentation Control Plan For the Avana Apartments Pipe Outfall



LANDSHORE ENTERPRISES LLC
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GENERAL NOTES

PROJECT NO. 2026-036	SHEET 2	SHEET/OF 2 /7
DRAWN BY: JP	DATE: 05/06/2026	SCALE: NTS

LEGEND

ABBREVIATIONS

SYMBOL/LINE	DESCRIPTION
	BASELINE
S75°45'10.37"W	BEARING
	CATCH BASIN
	CENTERLINE
∅	DIAMETER
EG: 2.94	EXISTING GROUND ELEVATION (FROM FIELD)
	HYDRANT
	LIGHTPOLE
	OFFICIAL BENCHMARK (BM)
	PALM TREES
	POLE
	SET OR FOUND SURVEY CONTROL POINT
	SIGN (SINGLE SUPPORT)
	SIGNAL MAST ARM
	SURVEY CONTROL POINT (SCP)
	SURVEY CONTROL POINT (SCP/TBM)
	TEMPORARY BENCHMARK (TBM)
	TREES
---	CANAL MAINTENANCE EASEMENT
---	CANAL RIGHT OF WAY
- - - - -	CANAL RIGHTS ON RESERVATION
—□—□—□—	EXISTING FENCE
—X—X—	EXISTING CHAIN LINK FENCE
—○—○—○—	EXISTING GUARDRAIL
- - - - -	EXISTING SHRUBS
	GRASS SOD
	ARTICULATED CONCRETE BLOCKS
	GUY ANCHOR
—X—X—X—	PROPOSED CHAIN LINK FENCE
—○—○—○—○—	PROPOSED SAFETY FENCE
	SHEET PILING

SYMBOL/LINE	DESCRIPTION
	DETAIL NUMBER
	TYPICAL DETAIL CALL OUT
	DETAIL SHEET NUMBER
	FABRIC-FORMED CONCRETE OR ARTICULATING CONCRETE BLOCK MATS (ACBs)
	BEDDING STONE/CRUSHED CONCRETE
	EMBANKMENT
	REGULAR EXCAVATION
	RIP-RAP
	RIP-RAP (BOULDER)
	ShoreFlex® OR Flexamat®
	PLANTS
	SEAWALL
	STACKED CANAL BANK STABILIZATION (CBS)
	STRUCTURAL FILL
	EROSION CONTROL PANEL
	ACCESS AREA
	SWALES
	TREE FOLIAGE
—	EROSION CONTROL MAT
--- PTOB ---	PROPOSED TOP OF BANK
—TOB—TOB—	TOP OF BANK
—TOS—TOS—	TOP OF SLOPE
—	TURF REINFORCEMENT MAT
	TURBIDITY BARRIER
	WARNING BARRIER FENCE
—WL—WL—	WATER LINE

ASPH	= ASPHALT
℄	= BASELINE
BLCP	= BASELINE CONTROL POINT (TO BE SET BY CONTRACTOR)
BM	= BENCHMARK
℄	= CENTERLINE
C.L.F.	= CHAIN LINK FENCE
C.M.E.	= CANAL MAINTENANCE EASEMENT
CAP	= CORRUGATED ALUMINUM PIPE
CBS	= CANAL BANK STABILIZATION
CMP	= CORRUGATED METAL PIPE
COA	= COLLAPSED AREA
CONC	= CONCRETE
COR	= CORNER
CSLAB	= CONCRETE SLAB
DIA	= DIAMETER
DIP	= DUCTILE IRON PIPE
DWT	= DESIGN WATER TABLE
ELEV	= ELEVATION
EOP	= EDGE OF PAVEMENT
EOW	= EDGE OF WATER
ERA	= ERODED AREA
ESMT	= EASEMENT
ETOB	= EXISTING TOP OF BANK
EXIST	= EXISTING
EG	= EXISTING GROUND
FG	= FINISH GRADE
FDOT	= FLORIDA DEPARTMENT OF TRANSPORTATION
FT	= FEET
G	= GAS
GR	= GRADE
HFT	= HOUSE FOOTPRINT
HOR	= HORIZONTAL
HWT	= HIGH WATER TABLE
INV	= INVERT
IRR	= IRRIGATION
LB	= POUND
LT	= OFFSET LEFT
M.H.W.L	= MEAN HIGH WATER LEVEL
M.T.L.	= MAXIMUM TIDE LEVEL
MUTCD	= MANUAL OF UNIFORM TRAFFIC DEVICES
N/A	= NOT APPLICABLE
NAD	= NORTH AMERICAN DATUM
NAVD	= NATIONAL AMERICAN VERTICAL DATUM
NG	= NATURAL GRADE
NGVD	= NATIONAL GEODETIC VERTICAL DATUM
NTS	= NOT TO SCALE


NTU	= NEPHELOMETRIC TURBIDITY UNITS
OWT	= OBSERVED WATER TABLE
℄	= PROPERTY LINE
PB	= PLAT BOOK
PED	= PEDESTRIAN
PG	= PAGE
PI	= POINT OF INTERSECTION
P&P	= PLAN AND PROFILE
P.M.T.L.	= PROBABLE MAXIMUM TIDE LEVEL
PROP.	= PROPOSED
PVC	= POLYVINYL CHLORIDE
PVMT	= PAVEMENT
R/W	= RIGHT OF WAY
RT	= OFFSET RIGHT
SAN	= SANITARY
SCP	= SURVEY CONTROL POINT
SDWK	= SIDEWALK
WMD	= WATER MANAGEMENT DISTRICT
SP	= SHEET PILING
SPK	= SPRINKLER
SWPPP	= STORMWATER POLLUTION PREVENTION PLAN
ST	= STORM
STA	= STATION
STD	= STANDARD
TBM	= TEMPORARY BENCHMARK
TOBP	= TOP OF BANK (PROPOSED)
TOB	= TOP OF BANK
TOS	= TOP OF SLOPE
TYP	= TYPICAL
UT	= UTILITY
USDA #	= U.S. DEPARTMENT OF AGRICULTURE SOIL CLASSIFICATION
VERT	= VERTICAL
W	= WATER
WD	= WOOD DOCKS
WL	= WATERLINE
XS	= CROSS SECTION

REVISIONS		
DATE	BY	DESCRIPTION

Erosion and Sedimentation Control Plan For the Avana Apartments Pipe Outfall



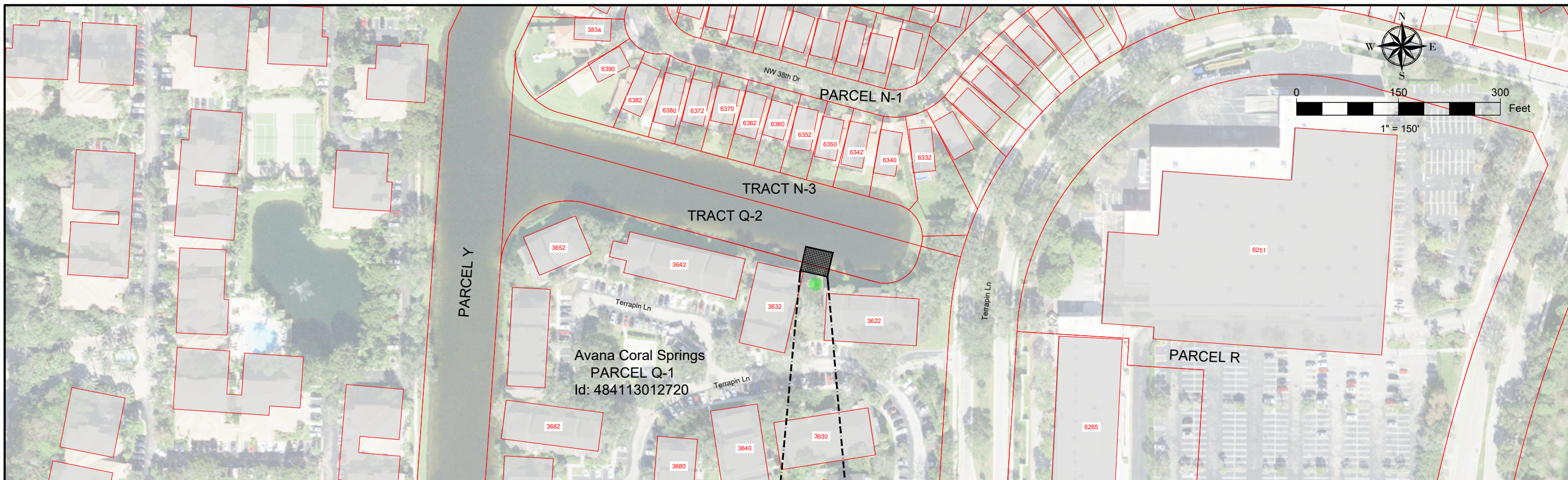
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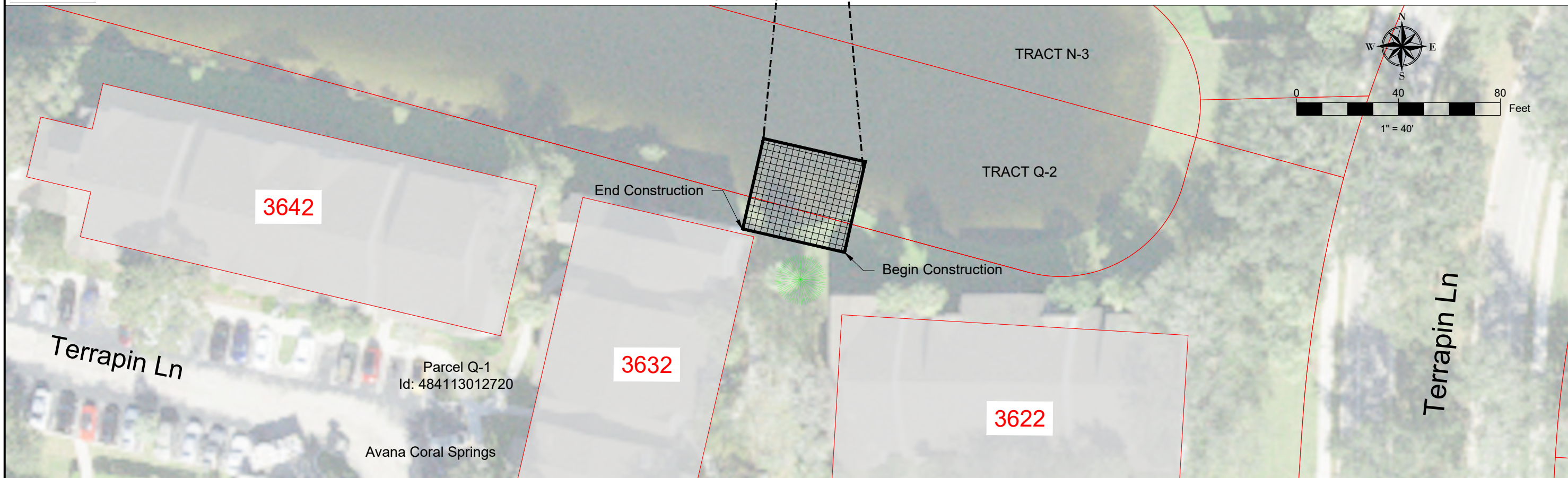
LEGEND AND ABBREVIATIONS

PROJECT NO. 2026-036	SHEET 3	SHEET/OF 3 / 7
DRAWN BY: JP	DATE: 05/06/2026	SCALE: NTS



VICINITY MAP

SITE PLAN




REVISIONS		
DATE	BY	DESCRIPTION

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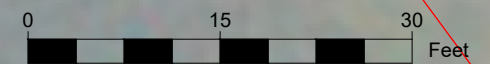


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AERIAL SITE PLAN

PROJECT NO. 2026-036	SHEET 4	SHEET/OF 4/7
DRAWN BY: JP	DATE: 05/06/2026	SCALE: AS SHOWN

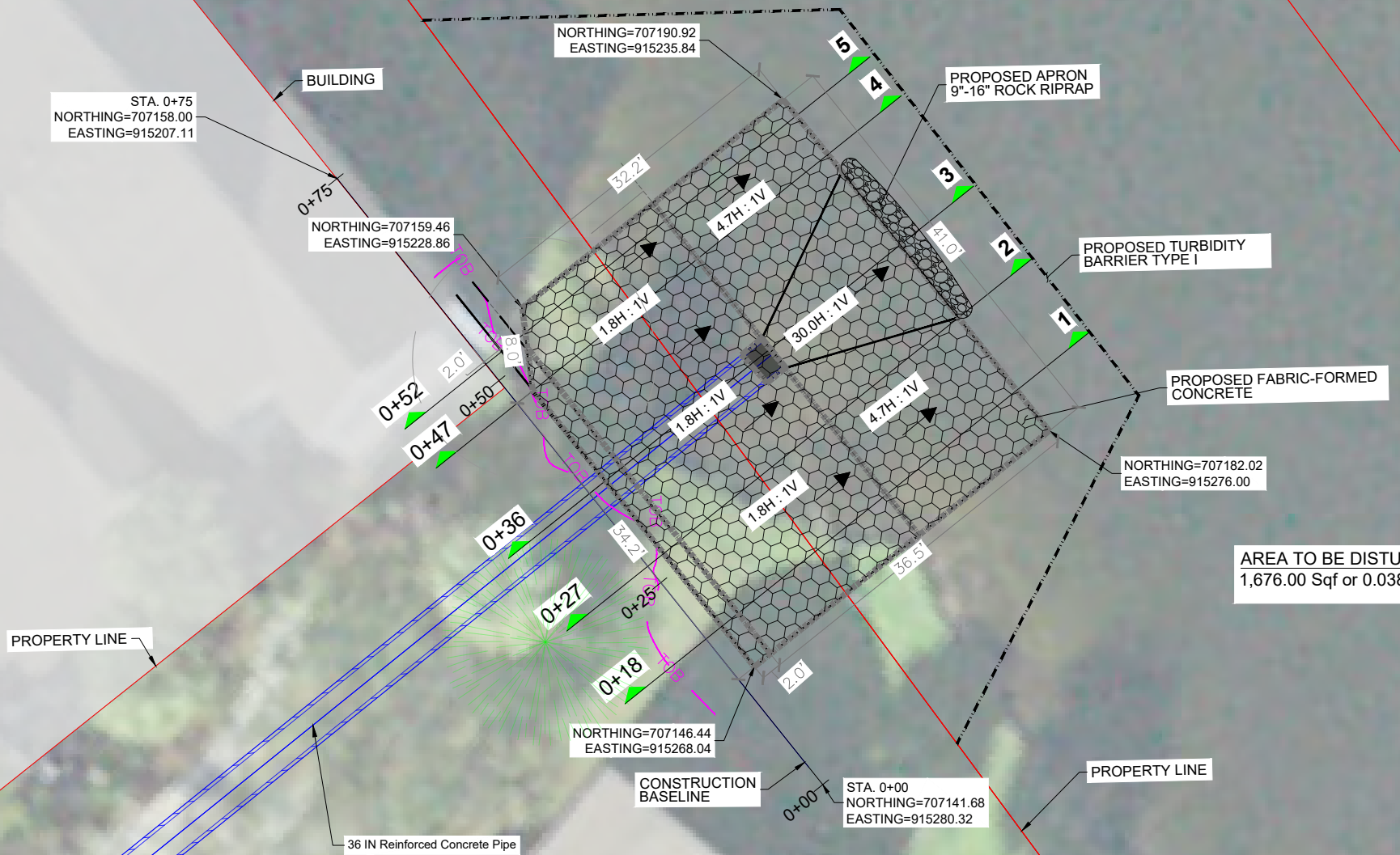
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Turtle Run, Coral Springs

3632

3622



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Erosion and Sedimentation Control Plan For the Avana Apartments Pipe Outfall



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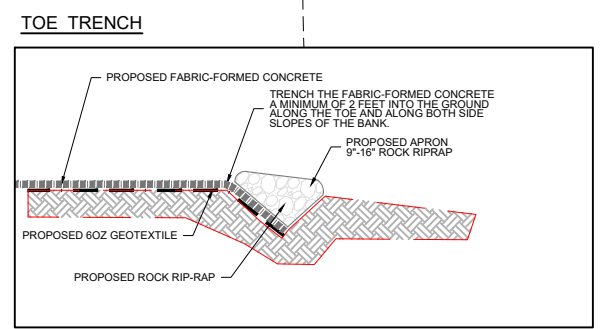
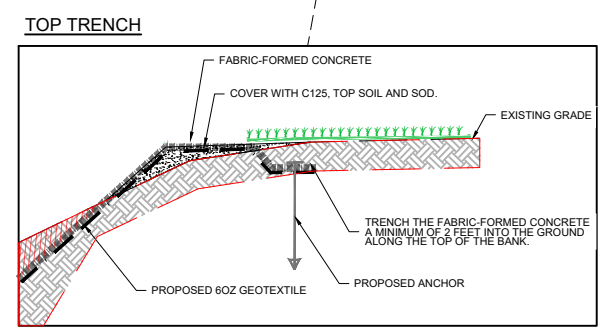
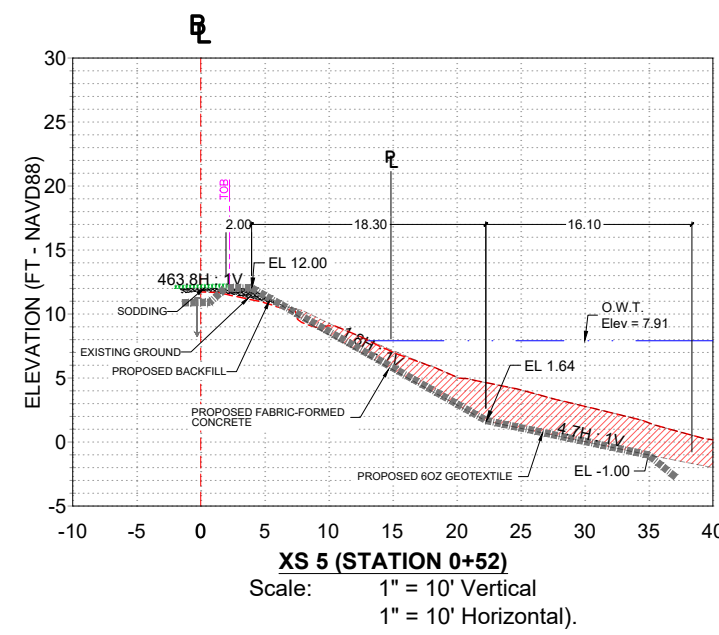
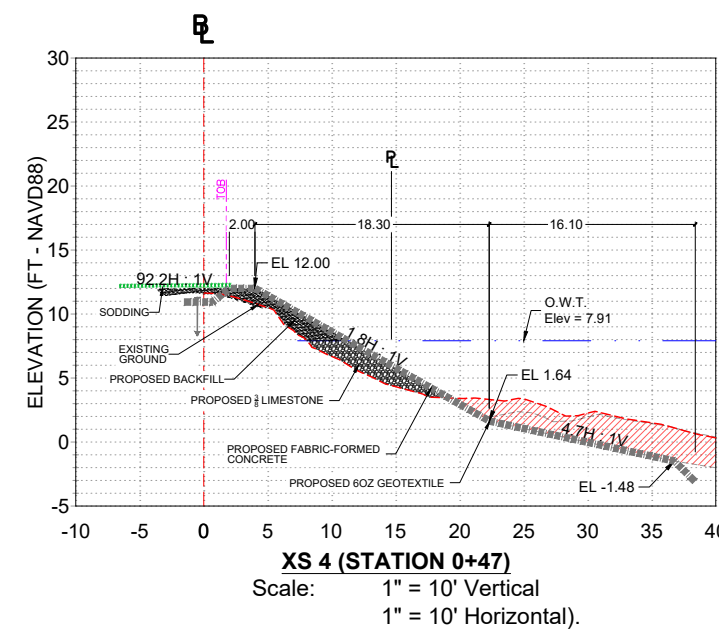
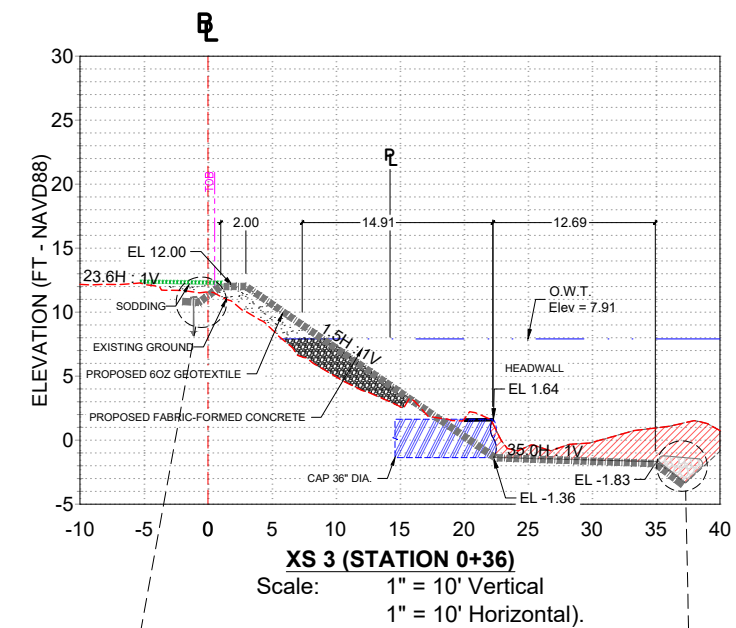
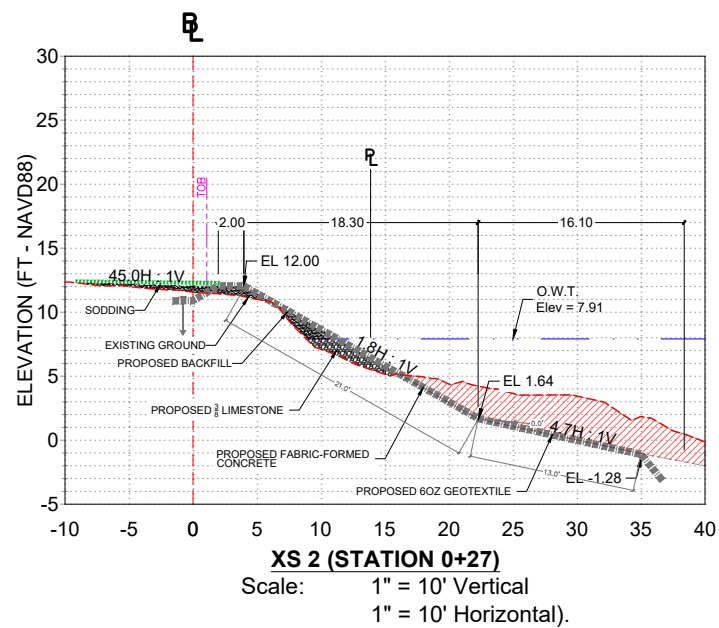
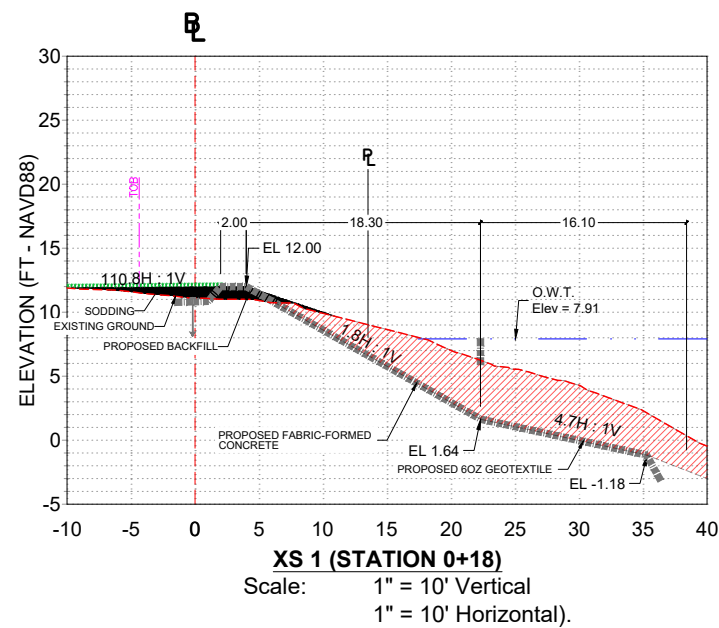


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EROSION CONTROL AND SITE LAYOUT PLAN

PROJECT NO. 2026-036	SHEET 5	SHEET/OF 5/7
DRAWN BY: JP	DATE: 05/06/2026	SCALE: 1"= 15'

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FABRIC-FORMED CONCRETE

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CROSS SECTIONS

PROJECT NO. 2026-036	SHEET 6	SHEET/OF 6/7
DRAWN BY: JP	DATE: 05/06/2026	SCALE: AS SHOWN

Mirafi® 160 N

Mirafi® 160N is a nonwoven geotextile composed of polypropylene fibers, which are formed into a stable network such that the fibers retain their relative position. Mirafi® 160N is inert to biological degradation and resists naturally encountered chemicals, alkalis, and acids. Mirafi® 160N meets AASHTO M288 Class 2 for Elongation > 50%.

TenCate Geosynthetics Americas Laboratories are accredited by Geosynthetic Accreditation Institute – Laboratory Accreditation Program (GAI-LAP). NTPEP Listed

Mechanical Properties	Test Method	Unit	Minimum Average	
			MD	CD
Grab Tensile Strength	ASTM D4632	lbs (N)	160 (712)	160 (712)
Grab Tensile Elongation	ASTM D4632	%	50	50
Trapezoid Tear Strength	ASTM D4533	lbs (N)	60 (267)	60 (267)
CBR Puncture Strength	ASTM D6241	lbs (N)	410 (1825)	
Apparent Opening Size (AOS)			Maximum Opening Size	
	ASTM D4751	U.S. Sieve (mm)	70 (0.212)	
			Minimum Roll Value	
Permittivity	ASTM D4491	sec-1	1.5	
Flow Rate	ASTM D4491	gal/min/ft ² (l/min/m ²)	110 (4481)	
			Minimum Test Value	
UV Resistance (at 500 hours)	ASTM D4355	% strength retained	70	
Physical Properties		Unit	Roll Size	
Roll Dimensions (width x length)		ft (m)	15 x 300 (4.5 x 91)	
Roll Area		yd ² (m ²)	500 (418)	

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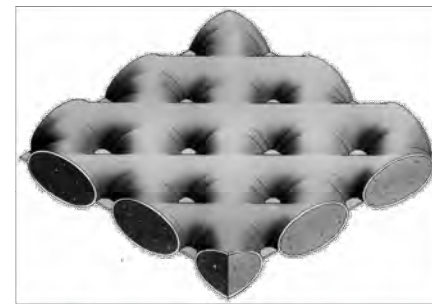
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FGS000361
ETQR89

GAI-LAP-25-97

HYDROTEX™ Specification Guideline Fabric-formed Concrete Erosion Control Systems



Filter Point Lining

Table 1.0 Typical Dimensions and Weights

Filter Point	FP220	FP400	FP600	FP800	FP1000	FP1200
Average Thickness, inches (mm)	2.2 (56)	4.0 (102)	6.0 (152)	8.0 (203)	10.0 (254)	12.0 (305)
Mass Per Unit Area, lb/ft ² (kg/m ²)	25 (121)	45 (220)	68 (330)	90 (440)	113 (550)	135 (661)
Filter Point Spacing, inches (mm)	5.0 (127)	8.0 (203)	10.0 (254)	12.0 (305)	14.0 (356)	16.0 (406)
Area per Filter Point, in ² (cm ²)	2.0 (12.9)	2.0 (12.9)	6.3 (40.7)	6.3 (40.7)	12.2 (78.7)	12.2 (78.7)
Perimeter per Filter Point, inches (mm)	6.5 (165)	6.5 (165)	11 (279)	11 (279)	15 (381)	15 (381)
Concrete Coverage, ft ² /yd ² (m ² /m ²)	136 (16.6)	75 (9.1)	50 (6.1)	38 (4.6)	30 (3.6)	25 (3.0)
Shear Resistance, lb/ft ² (kg/m ²)	11 (54)	20 (98)	30 (146)	40 (195)	50 (244)	60 (293)

Note: Values shown are typical and will vary with weight of concrete and field conditions.

1.0 GENERAL

1.1 Scope of Work: The Contractor shall furnish all labor, materials, equipment, and incidentals required to perform all operations in connection with the installation of the proposed Filter Point (FP) Lining in accordance with the lines, grades, design, and dimensions shown on the Contract Drawings and as specified herein.

1.2 Description: The work shall consist of installing an unreinforced concrete lining by positioning specially woven, double-layer synthetic forms on the surface to be protected and filling them with a pumpable, fine aggregate concrete (structural grout) in such a way as to form a stable lining of required thickness, weight and configuration.

2.0 MATERIALS REQUIREMENTS

2.1 Fine Aggregate Concrete: Fine aggregate concrete shall consist of a proportioned mixture of Portland cement, fine aggregate (sand) and water. The consistency of the fine aggregate concrete delivered to the concrete pump shall be proportioned and mixed as to have an efflux time of 9-12 seconds when passed through the 0.75 inch (19 mm) orifice of the standard flow cone that is described in ASTM C 939. Pozzolan, fluidifier or pumping aid conforming to this Specification may be used at the option of the Contractor. The mix shall exhibit a compressive strength of 2,000 lb/in² (13.8 MPa) at 28 days, when made and tested in accordance with ASTM C 31 and C 39.

2.1.1 Portland cement shall conform to ASTM C 150, Type I or Type II.

2.1.2 Fine aggregate shall conform to ASTM C 33, except as to grading. Aggregate grading shall be reasonably consistent and shall not exceed the maximum size which can be conveniently handled with available pumping equipment.

Product Description

Filter Point Linings with filtering points (drains) provide an erosion resistant, permeable concrete lining for ditches, channels, canals, streams, rivers, ponds, lakes, reservoirs, marinas, and protected port and harbor areas. Filter Point Linings have a cobbled surface and a relatively high coefficient of hydraulic friction in order to achieve lower flow velocities and to reduce wave run-up. The filter points provide for the relief of hydrostatic uplift pressure, increasing the system's stability.

Filter Point Linings are generally used in lieu of stone rip rap or slope paving due to their lower cost and higher performance. Filter Point Linings have greater stability than conventional slope paving because of several factors – they can mitigate uplift pressure from ground water, reduce hydraulic uplift of flowing water by slowing channel velocities, and conform to soil contours during installation to reduce the potential for underscour.

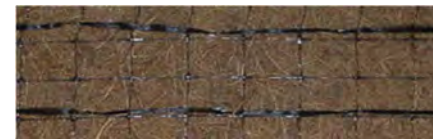
Filter Point forms are woven from multifilament and textured yarns. The double-layer fabric is joined by interwoven filter points on controlled centers to form a lining with a deeply cobbled appearance. The spacing of the filter points determines the lining's thickness and weight, while the specially designed filter points relieve hydrostatic pressure and reduce applied stress to the fabric during pumping. Filter Point Linings are available in a wide range of thicknesses.



Specification Sheet EroNet™ C125® Erosion Control Blanket

DESCRIPTION

The long-term double net erosion control blanket shall be a machine-produced mat of 100% coconut fiber with a functional longevity of up to 36 months. (NOTE: functional longevity may vary depending upon climatic conditions, soil, geographical location, and elevation). The blanket shall be of consistent thickness with the coconut evenly distributed over the entire area of the mat. The blanket shall be covered on the top and bottom sides with a heavyweight photodegradable polypropylene netting having ultraviolet additives to delay breakdown and an approximate 0.63 x 0.63 in (1.59 x 1.59 cm) mesh. The blanket shall be sewn together on 1.50 inch (3.81 cm) centers with degradable thread. The blanket shall be manufactured with a colored thread stitched along both outer edges (approximately 2-5 inches [5-12.5 cm] from the edge) as an overlap guide for adjacent mats. The C125 shall meet Type 4 specification requirements established by the Erosion Control Technology Council (ECTC) and Federal Highway Administration's (FHWA) FP-03 Section 713.17



Index Property	Test Method	Typical
Thickness	ASTM D6525	0.22 in. (5.59 mm)
Resiliency	ECTC Guidelines	82%
Water Absorbency	ASTM D1117	167%
Mass/Unit Area	ASTM 6475	7.73 oz/sy (262.8 g/sm)
Swell	ECTC Guidelines	13%
Smolder Resistance	ECTC Guidelines	Yes
Stiffness	ASTM D1388	0.75 oz-in
Light Penetration	ASTM D6567	16.6%
Tensile Strength - MD	ASTM D6818	472.8 lbs/ft (7.01 kN/m)
Elongation - MD	ASTM D6818	25.6%
Tensile Strength - TD	ASTM D6818	225.6 lbs/ft (3.35 kN/m)
Elongation - TD	ASTM D6818	33.9%
Biomass Improvement	ASTM 7322	257%

Design Permissible Shear Stress

Unvegetated Shear Stress	2.25 psf (108 Pa)
Unvegetated Velocity	10.0 fps (3.05 m/s)

Slope Design Data: C Factors

Slope Length (L)	Slope Gradients (S)		
	≤ 3:1	3:1 – 2:1	≥ 2:1
≤ 20 ft (6 m)	0.001	0.029	0.082
20-50 ft	0.036	0.060	0.096
≥ 50 ft (15.2 m)	0.070	0.090	0.110

Roughness Coefficients – Unveg.

Flow Depth	Manning's n
≤ 0.50 ft (0.15 m)	0.022
0.50 – 2.0 ft	0.022-0.014
≥ 2.0 ft (0.60 m)	0.014

Material Content

Matrix	100% Coconut Fiber	0.5 lbs/sq yd (0.27 kg/sm)
Netting	Heavyweight photodegradable with UV additives	3 lbs/1000 sq ft (14.6 g/sm)
Thread	Black polypropylene	

Standard Roll Sizes

Width	6.67 (2.03 m)	8 ft (2.44 m)	16 ft (4.87 m)
Length	108 ft (32.92 m)	112 ft (35.14 m)	112 ft (34.14 m)
Weight ± 10%	44 lbs (19.95 kg)	56.25 lbs (25.5 kg)	112.5 lbs (51 kg)
Area	80 sq yd (66.9 sm)	100 sq yd (83.61 sm)	200 sq yd (167.22 sm)



Western Green
4609 E. Boonville-New Harmony Rd.
Evansville, IN 47725

nagreen.com
800-772-2040

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EC_RM_X_MPDS_C125_3.20

REVISIONS		
DATE	BY	DESCRIPTION

Erosion and Sedimentation Control Plan For the Avana Apartments Pipe Outfall



LANDSHORE ENTERPRISES LLC
118 Shamrock Blvd.,
Venice, FL 34293
Office: 941-303-5238
info@landshore.com



THIS ITEM HAS BEEN DIGITALLY SIGNED AND SEALED BY PIETER M. LOMBARD ON THE DATE ADJACENT TO THE SEAL.
PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.

MANUFACTURER'S SPECIFICATIONS

PROJECT NO. 2026-036	SHEET 7	SHEET/OF 7/7
DRAWN BY: JP	DATE: 05/06/2026	SCALE: NTS

Turtle Run Community Development District

FY 2026 - Annual Maintenance Plan

Month	Timeframe	Activity Description	Vendor
May	First Week	Hedges & Shrubs - Trim, Clean Up	Brightview
May	First Week	Spray CLR on white calcium on brick façade at Round-about Fountain	Santos/Brightview
May	Mondays	Wet Check of All Irrigation Systems	Brightview
May	Thursdays	Lawn Maintenance - Grass Cut, Edging, Clean Up per contract	Brightview
May	3 Times/Week	Empty Garbage Cans	Santos/Brightview
May	Bi-weekly	Landscape Drive Thru	Brightview/GMS
May	Bi-weekly	Remove Iguanas	Redline Iguana
May	Bi-weekly	Lake Maintenance, Water Quality per contract	SE Land & Water
May	Bi-weekly	Rust Inhibitor/Removal Turtle Run Park	WIRX
May	Pre Memorial Day	Fly all U.S. flags on Memorial Day Weekend	GMS
May		Service/Maintain/Repair Street Lights (Warranty expires January 2025)	GMS
May		Clean Lake Signs, Street Signs, Exterior of Street Lights (cobwebs)	Santos/Brightview
May		Trim Sylvester Palms	GMS
May	Yearly	Inspect Drainage Pipes	Industrial Divers
	Last Meeting	Submit Quality Assessment Report to CDD Board	Brightview

Turtle Run Community Development District

FY 2026 - Annual Maintenance Plan

Month	Timeframe	Activity Description	Vendor
June	First Week	Hedges & Shrubs - Trim, Clean Up	Brightview
June	First Week	Spray CLR on white calcium on brick façade at Round-about Fountain	Santos/Brightview
June	Mondays	Wet Check of All Irrigation Systems	Brightview
June	Thursdays	Lawn Maintenance - Grass Cut, Edging, Clean Up per contract	Brightview
June	3 Times/Week	Empty Garbage Cans	Santos/Brightview
June	Bi-weekly	Landscape Drive Thru	Brightview/GMS
June	Bi-weekly	Remove Iguanas	Redline Iguana
June	Bi-weekly	Lake Maintenance, Water Quality per contract	SE Land & Water
June	Bi-weekly	Rust Inhibitor/Removal Turtle Run Park	WIRX
June		Service/Maintain/Repair Street Lights (Warranty expires January 2025)	GMS
June		Clean Lake Signs, Street Signs, Exterior of Street Lights (cobwebs)	Santos/Brightview
June		Service All Fountains (Feb, Jun, Oct)	Hall Fountain
June		Fertilizer Application (Mar/Jun/Sep/Dec)	Tropical Pest
June		Medjool Palm Trees Fugus Treatment (Jun/Aug)	Tropical Pest
June	Yearly	Obtain Bids for Pressure Cleaning	GMS
June		EWA for TRCDD Storm Water Needs Analysis Every 5 Years (2026, 2031, 2036, 2041, etc.)	Engineer/GMS
June	Last Meeting	Submit Quality Assessment Report to CDD Board	Brightview

Turtle Run CDD

Progress Report

Open / Active Items

No.	Project Name / Description	Owner	Start Date (M/Year)	Status	Comments / Updates
<u>1</u>	Speed Limit Pole Knockdown - Entrance of NW 43 Place	Pat B	Sep-25	In Progress	<ul style="list-style-type: none"> - 09/16/2025 - Pole damaged. Unable to obtain police report. EGIS is involved - 09/25/2025 - Horsepower removed the pole - 09/29/2025 - Temp speed limit sign post was installed - 12/15/2025 - New pole was ordered from Stresscrete, the original pole manufacturer. Pole delivery and installation details will be provided once available - 01/15/2026 - The frame should be ready in February. The street sign should arrive by the end of the month - 02/03/2026 - Frame and Sign received at GMS. Pole expected to ship to Horsepower around 03/20/2026 - 03/16/2026 - Pole was shipped to Horsepower. Waiting for install date from Horsepower once delivered - 05/08/2026 - Install date to be scheduled once 811 locates inspection is completed.
<u>2</u>	Turtle Run Blvd/ NW 41st St Lightpole Damage	Pat B	Jun-25	In Progress	<ul style="list-style-type: none"> - 06/22/2025 - Pole damaged. No driver information obtained - 07/26/2025 - Pole removed and light fixtures placed on damaged pole at The Shoppes - EGIS is involved and new pole material was ordered - 12/05/2025 - Fixtures and arms were delivered to GMS. Pole delivery and installation details will be provided once available. The pole is estimated to ship 7/3/26
<u>3</u>	Turtle Creek Drive/The Shoppes Lightpole Damage	Pat B	Jun-25	In Progress	<ul style="list-style-type: none"> - 06/22/2025 - No driver information obtained - 07/26/2025 - Pole was straightened and light fixture added - EGIS is involved and new pole material was ordered. - 12/05/2025 - Fixtures and arms were delivered to GMS. Pole delivery and installation details will be provided once available. The pole is estimated to ship 7/3/26.
<u>4</u>	Lake Bank Repair Between Avana Apartments and Harbor Island	Pat B Pat S	Apr-25	In Progress	<ul style="list-style-type: none"> - 08/11/2025 - Landshore began work. - 11/24/2025 - Change order #1 was approved - 12/11/2025 - Change order #1 work began. A report was provided that they will need to utilize a dredge system to keep the material from blocking the excavation work and that mobilization will begin the week after New Years - 01/16/2026 - Dredge work began. Update will be provided at the meeting - 02/09/2026 - Landshore will provide an email update that will be sent to the Board for review ahead of the Feb board meeting - 03/20/2026 - Outfall pipe was exposed with last approved work. Proposal for further engineering work will be presented at the March 30 meeting - 03/30/2026 - Proposal for Engineering Study was approved. Work will begin once District amendment is executed. Updates to be provided as received - 05/08/2026 - Engineering study was completed. Proposal from findings will be on the 05/18/2026 meeting agenda for consideration.
<u>5</u>	SFWMD Compliance Request for Lake Bank Restoration Project	Engineer	Apr-25	In Progress	<ul style="list-style-type: none"> - Action Plan provided by KCI was approved at the April 2025 meeting and submitted to SFWMD for review - No comments back since the May 2025 meeting from SFWMD. - KCI completed the restoration phase map and we anticipate the project to start moving in 2026. - GMS, KCI and SFWMD have conducted multiple on site meetings and virtual meetings to keep SFWMD up to date on the progress from the District. - 05/08/2026 - SFWMD was informed of meeting 04/27/2026 meeting discussion between the board on financing and the anticipated next steps. No response as of now from SFWMD.
<u>6</u>	Turtle Run Park Upgrades	Skip	Mar-23	In Progress	Updates provided as received.
<u>7</u>	Visible Lake Floating Devices	Pat S	Nov-24	In Progress	Pat S inspecting lakes and letters will be sent when inspection is final.
<u>8</u>	Main Entrance Fountain Repairs	Pat B	Mar-22	In Progress	In litigation. No updates at this time.

Turtle Run CDD

Progress Report

Completed Items & Hold Items

	<u>Project Name / Description</u>	<u>Owner</u>	<u>Start Date (M/Year)</u>	<u>End Date (M/Year)</u>	<u>Status</u>	<u>Comments / Updates</u>
<u>1</u>	Dennis Baldis Memorial	Pat B	Jan-22	TBD	On Hold	No action taken by the board at the time of discussion.
<u>2</u>	Fence Damage from Car Crash at Lake Julia	Pat B	Mar-26	Mar-26	Completed	Completed by FCC Carpentry on 03/17/2026.
<u>3</u>	Repair to Sample Road drain culvert due to boring damage	Pat B	Sep-25	Feb-26	Completed	Industrial Divers completed repair in February 2026. Reimbursement was received from Comcast.
<u>4</u>	Turtle Run Park - Bathroom Renovation/Repairs Progress	Pat B	Jun-25	Jan-26	Completed	Bathroom work was completed on 01/31/2026
<u>5</u>	Lake Name Sign Replacements (Margaret & Julia)	Pat B	Sep-25	Jan-26	Completed	Pat S and Pat B installed signs on 01/26/2026.
<u>6</u>	Lake 'No Trespass' Sign Installations	Pat B	Jun-25	Dec-25	Completed	RaptorVac completed the work on 12/12/2025
<u>7</u>	TR Blvd/Sample Road Flagpole Light Replacements	Pat B	Oct-25	Dec-25	Completed	Lights were installed by Eagle Group on 12/01/2025
<u>8</u>	TR Blvd Lake Interconnecting Pipe Cleaning	Pat B	Oct-25	Nov-25	Completed	RaptorVac completed on 11/26/2025
<u>9</u>	Wiles Road/Creekside Drive Pedestrian Sign Knockdown	Pat B	Nov-24	Nov-25	Completed	Horsepower completed the job on 11/20/2025
<u>10</u>	Turtle Run Park - Bathroom Renovation Donation	Pat B	Jun-25	Nov-25	Completed	Document is fully executed. Payment was sent to The City.
<u>11</u>	Industrial Divers Repair Work	Pat B	Sep-25	Oct-25	Completed	Repair work was completed on 10/06/2025
<u>12</u>	Lake Bank Survey Work by KCI	KCI	Apr-25	Aug-25	Completed	Survey work completed. KCI providing further steps in action plan.
<u>13</u>	Turtle Creek Drive/Sample Road Flagpole Damages	Patrick	Nov-24	Aug-25	Completed	Poles were installed on 08/11/2025.

Turtle Run
COMMUNITY DEVELOPMENT DISTRICT

Check Register

<i>Date</i>	<i>Check Numbers</i>	<i>Amount</i>
General Fund		
4/15/26	6474-6480	\$113,785.06
4/22/26	6481-6485	\$6,442.50
4/28/26	6486-6492	\$5,632.49
5/6/26	6493-6497	\$27,923.95
TOTAL		\$153,784.00

<i>Date</i>	<i>Check Numbers</i>	<i>Amount</i>
Capital Project Reserve Fund		
4/22/26	5024	\$38,074.40
4/24/26	5025	\$18,800.00
4/29/26	5026	\$7,700.00
TOTAL		\$64,574.40

CHECK DATE	VEND#	INVOICE DATE	INVOICE	EXPENSED TO YRMO	DPT	ACCT#	SUB	SUBCLASS	VENDOR NAME	STATUS	AMOUNT	CHECK AMOUNT	CHECK #
4/15/26	00024	3/31/26	198087	202603	310	51300	31500		BILLING COCHRAN PA	*	4,015.00	4,015.00	006474
4/15/26	00291	2/23/26	2026-01- MEETING 02/23/26	202602	310	51300	43000			*	100.00		
		3/30/26	2026-01- METTING 03/30/26	202603	310	51300	43000			*	100.00		
		4/15/26	2026-01- MEETING 10/27/25	202510	310	51300	43000			*	100.00		
		4/15/26	2026-01- MEETING 11/24/25	202511	310	51300	43000		CORAL BAY COMMUNITY DEVELOPMENT	*	100.00	400.00	006475
4/15/26	00041	3/31/26	92348633	202603	310	51300	42000		FEDEX	*	22.80	22.80	006476
4/15/26	00259	3/31/26	640	202603	310	51300	31600		MATTHEW FORNARO P.A.	*	665.00	665.00	006477
4/15/26	00214	4/15/26	04152026	202604	300	20700	10000		TURTLE RUN CDD	*	16,505.33	16,505.33	006478
4/15/26	00218	4/15/26	04152026	202604	300	20700	10001		TURTLE RUN CDD	*	54,637.12	54,637.12	006479
4/15/26	00208	2/25/26	9697976	202602	320	54100	46205		BRIGHTVIEW LANDSCAPE SERVICES, INC.	*	2,100.00	37,539.81	006480
		2/27/26	9704343	202602	320	54100	46205			*	3,200.00		
		2/27/26	9704359	202602	320	54100	46206			*	1,290.49		
		3/01/26	9691167	202603	320	54100	46200			*	1,026.29		
		3/01/26	9697770	202603	320	54100	46200			*	29,923.03		
4/22/26	00208	4/20/26	9749762	202604	320	54100	46206		BRIGHTVIEW LANDSCAPE SERVICES, INC.	*	1,714.63	1,714.63	006481

CHECK DATE	VEND#	INVOICE DATE	INVOICE	EXPENSED TO YRMO	DPT ACCT#	SUB SUBCLASS	VENDOR NAME	STATUS	AMOUNT	CHECK AMOUNT	CHECK #		
4/22/26	00266	4/03/26	26040907	202603	320-54100-34500		SECURITY SVCS 03/26 CITY OF MARGATE	*	243.00	243.00	006482		
4/22/26	00263	4/15/26	2008	202604	320-54100-46006		REPAIRS 04/26 F & K MARTINS PAVERS LLC	*	1,700.00	1,700.00	006483		
4/22/26	00041	4/14/26	92544922	202604	310-51300-42000		DELIVERY THRU 04/01/26 FEDEX	*	34.87	34.87	006484		
4/22/26	00295	4/15/26	2019	202604	320-54100-46300		MAINT 04/26 SOUTHEAST LAND AND WATER MANAGEMENT	*	2,750.00	2,750.00	006485		
4/28/26	00208	4/23/26	9751859	202604	320-54100-46205		INSTALL COPPERLEAF 04/26 4/23/26 9751863 202604 320-54100-46205 INSTALL PALLET SOD 04/26 4/23/26 9751863 202604 320-54100-46206 INSTALL PALLET SOD 04/26 BRIGHTVIEW LANDSCAPE SERVICES, INC.	*	565.26	1,367.81	849.23	2,782.30	006486
4/28/26	00181	4/21/26	119230-0	202603	320-54100-43100		SVCS 03/26 4/21/26 135796-0 202603 320-54100-43100 SVCS 03/26 4/21/26 53044-03 202603 320-54100-43100 SVCS 03/26 CITY OF CORAL SPRINGS-WATER BILLING	*	79.04	12.77	12.77	104.58	006487
4/28/26	00248	4/26/26	10360	202604	320-54100-46001		SVCS 04/26 EAGLE GROUP INC	*	904.68	904.68	006488		
4/28/26	00238	4/08/26	15007	202604	320-54100-46002		MAINT 04/26 REDLINE IGUANA REMOVAL LLC	*	625.00	625.00	006489		
4/28/26	00185	5/01/26	61093923	202605	320-54100-46406		MAINT 05/26 SHAMROCK POOL SERVICES, INC.	*	305.00	305.00	006490		
4/28/26	00292	4/27/26	20766890	202604	310-51300-31600		SPECIAL MEETING 04/26 UNIVERSAL COURT REPORTING INC	*	770.00	770.00	006491		

TRUN TURTLE RUN JWASSERMAN

CHECK DATE	VEND#	INVOICE DATE	INVOICE	EXPENSED TO YRMO	DPT	ACCT#	SUB	SUBCLASS	VENDOR NAME	STATUS	AMOUNT	CHECK AMOUNT	CHECK #
4/28/26	00184	4/15/26	61411743	202603	320	54100	41005			*	123.33		
			SVCS 03/26										
		4/15/26	61411743	202603	320	54100	41005			*	17.60		
			SVCS 03/26										
VERIZON WIRELESS												140.93	006492
5/06/26	00208	4/29/26	9772887	202604	320	54100	47500			*	1,025.00		
			REPLACE VALVE 04/26										
BRIGHTVIEW LANDSCAPE SERVICES, INC.												1,025.00	006493
5/06/26	00008	4/23/26	042026	202604	320	54100	43000			*	8,976.29		
			SVCS 04/26										
FLORIDA POWER & LIGHT												8,976.29	006494
5/06/26	00118	5/01/26	500	202605	320	54100	25000			*	6,666.67		
			FIELD SVCS 05/26										
		5/01/26	501	202605	310	51300	34000			*	6,025.92		
			MGMT FEE 05/26										
		5/01/26	501	202605	310	51300	44000			*	400.00		
			RENT 05/26										
		5/01/26	501	202605	310	51300	35100			*	83.33		
			COMPUTER TIME 05/26										
		5/01/26	501	202605	310	51300	35101			*	83.33		
			WEBSITE ADMIN 05/26										
		5/01/26	501	202605	310	51300	42000			*	17.31		
			POSTAGE&DELIVERY 05/26										
		5/01/26	501	202605	320	54100	46000			*	17.10		
			REGIONS CC- LOWES 05/26										
		5/01/26	501	202605	320	54100	34500			*	219.00		
			MEETING SECURITY 05/26										
GOVERNMENTAL MANAGEMENT SERVICES												13,512.66	006495
5/06/26	00220	4/28/26	04282026	202604	320	54100	46200			*	4,025.00		
			PEST CONTROL 04/26										
SOUTHERN PLANT AND PEST SERVICES												4,025.00	006496
5/06/26	00285	5/01/26	121390	202604	320	54100	46004			*	385.00		
			RUST PREVENTION 04/26										
WIRX INC												385.00	006497
TOTAL FOR BANK B											153,784.00		
TOTAL FOR REGISTER											153,784.00		

CHECK DATE	VEND#	INVOICE DATE	INVOICE	EXPENSED TO YRMO	DPT	ACCT#	SUB	SUBCLASS	VENDOR NAME	STATUS	AMOUNT	CHECK AMOUNT	CHECK #
4/22/26	00065	12/02/25	0000485	202512	600	53800	46003		SIGNPOSTS	*	10,729.40		
		12/02/25	0000488	202511	600	53800	46005		ARMS AND FIXTURES	*	6,495.00		
		12/02/25	10317	202511	600	53800	46005		FLAG POLE LIGHTING	*	14,550.00		
		12/08/25	19254	202512	600	53800	46005		POLE AT CREEKSIDE DR	*	4,000.00		
		1/04/26	288	202601	600	53800	46003		INSTALLATION OF SIGNS	*	2,300.00		
TURTLE RUN CDD											38,074.40	005024	

4/24/26	00064	11/18/25	2327	202511	600	53800	31800		FINAL PMT EVALUATION	*	2,000.00		
		2/25/26	2324	202602	600	53800	31800		DREDGING PIPES AVON APPTS	*	16,800.00		
LANDSHORE ENTERPRISES LLC											18,800.00	005025	

4/29/26	00064	4/28/26	2352	202604	600	53800	31800		INITIAL RETAINER 04/26	*	7,700.00		
LANDSHORE ENTERPRISES LLC											7,700.00	005026	

TOTAL FOR BANK E											64,574.40		
TOTAL FOR REGISTER											64,574.40		

Turtle Run
Community Development District

Unaudited Financial Reporting
April 30, 2026



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10	<hr/>	<u>Assessment Receipt Schedule</u>

Turtle Run
Community Development District
Balance Sheet
April 30, 2026

	General Fund	Debt Service Fund	Capital Project Reserve Fund	Totals Governmental Funds
Assets:				
Cash:				
Operating Account	\$ 176,711	\$ -	\$ 1,558	\$ 178,270
Due from General Fund	-	19,631	-	19,631
Investments:				
State Board of Administration - Operating Reserves	686,621	-	-	686,621
State Board of Administration - Emergency Reserves	5,892	-	-	5,892
State Board of Administration - Capital Reserves	-	-	37,571	37,571
Bank United - Operating Reserves	998,191	-	-	998,191
Bank United - Emergency Reserves	572,279	-	-	572,279
Bank United - Capital Reserves	-	-	159,326	159,326
Series 2017-1				
Reserve	-	109,278	-	109,278
Revenue	-	142,551	-	142,551
Interest	-	46,384	-	46,384
Principal	-	90,012	-	90,012
Prepayment	-	4,061	-	4,061
Series 2017-2				
Reserve	-	153,105	-	153,105
Revenue	-	185,996	-	185,996
Interest	-	84,614	-	84,614
Sinking	-	90,011	-	90,011
Deposits	840	-	-	840
Total Assets	\$ 2,440,534	\$ 925,644	\$ 198,455	\$ 3,564,633
Liabilities:				
Accounts Payable	\$ 13,721	\$ -	\$ -	\$ 13,721
Due to Debt Service	19,631	-	-	19,631
Deposit/Trash Bonds	13,500	-	-	13,500
Total Liabilities	\$ 46,852	\$ -	\$ -	\$ 46,852
Fund Balance:				
Nonspendable:				
Deposits	\$ 840	\$ -	\$ -	\$ 840
Restricted for:				
Debt Service	-	925,644	-	925,644
Assigned for:				
Capital Project Reserve Fund	-	-	198,455	198,455
Emergency Fund	578,171	-	-	578,171
Unassigned	1,814,670	-	-	1,814,670
Total Fund Balances	\$ 2,393,682	\$ 925,644	\$ 198,455	\$ 3,517,781
Total Liabilities & Fund Balance	\$ 2,440,534	\$ 925,644	\$ 198,455	\$ 3,564,633

Turtle Run
Community Development District
General Fund
Statement of Revenues, Expenditures, and Changes in Fund Balance
For The Period Ended April 30, 2026

	Adopted Budget	Prorated Budget Thru 04/30/26	Actual Thru 04/30/26	Variance
Revenues:				
Special Assessments - Tax Roll	\$ 1,272,662	\$ 1,272,662	\$ 1,279,931	\$ 7,269
Interest Income	85,000	49,583	43,576	(6,007)
Insurance Proceeds	-	-	40,169	40,169
Other Income	-	-	75	75
Total Revenues	\$ 1,357,662	\$ 1,322,245	\$ 1,363,750	\$ 41,505

Expenditures:

General & Administrative:

Supervisor Fees	\$ 12,000	\$ 7,000	\$ 5,600	\$ 1,400
FICA Taxes	918	536	428	107
Assessment Roll	2,000	2,000	2,000	-
Attorney	65,000	37,917	18,068	19,849
Attorney - Special Counsel	50,000	29,167	16,843	12,324
Annual Audit	3,900	2,275	-	2,275
Arbitrage Rebate	600	600	600	-
Trustee Fees	7,000	7,000	7,000	-
Management Fees	72,311	42,182	42,181	0
Information Technology	1,000	583	583	0
Website Maintenance	1,000	583	583	0
Postage & Delivery	750	438	610	(173)
Insurance General Liability	14,915	14,915	13,389	1,526
Printing & Binding	1,000	583	29	554
Rental & Leases	4,800	2,800	2,800	-
Meeting Room	1,200	700	400	300
Legal Advertising	1,250	729	324	405
Other Current Charges	1,400	817	1,088	(271)
Office Supplies	250	146	22	124
Dues, Licenses & Subscriptions	175	175	175	-
Security	3,000	1,750	1,215	535
Total General & Administrative	\$ 244,469	\$ 152,895	\$ 113,939	\$ 38,955

Turtle Run
Community Development District
General Fund

Statement of Revenues, Expenditures, and Changes in Fund Balance
For The Period Ended April 30, 2026

	Adopted	Prorated Budget	Actual	
	Budget	Thru 04/30/26	Thru 04/30/26	Variance
<i>Operations & Maintenance</i>				
Special Pay	\$ 1,000	\$ 1,000	\$ 1,000	\$ -
Field Management	80,000	46,667	46,667	(0)
Video Monitoring	3,000	1,750	1,585	165
Internet/Data	2,000	1,167	742	425
Electric	105,888	61,768	63,858	(2,090)
Water	11,000	6,417	4,798	1,619
Insurance	52,706	52,706	49,305	3,401
Weed Control	34,126	19,907	20,350	(443)
Culvert Inspection/Cleaning	15,000	15,000	37,450	(22,450)
Holiday Lighting/Decorations	77,071	77,071	86,901	(9,830)
Iguana Removal	7,500	4,375	4,375	-
Landscape Maintenance	371,392	216,646	216,645	0
Pest Control/Fertilization	48,600	28,350	28,775	(425)
Landscape Replacement	68,569	39,999	44,357	(4,358)
Annual Tree Trimming	39,000	22,750	10,208	12,542
Fountain Maintenance	4,000	2,333	2,105	228
Fountain Repairs and Maintenance	7,500	4,375	3,552	823
Irrigation Repairs/Maintenance	28,000	16,333	30,934	(14,600)
Pressure Cleaning	37,070	37,070	36,450	620
Contingencies	20,000	11,667	6,335	5,331
Paver Repairs	11,000	6,417	3,975	2,442
Lighting/Electrical Repairs	22,000	12,833	7,780	5,053
Signs	-	-	944	(944)
RPM Replacements	9,000	5,250	-	5,250
Rust Preventative TR Park	4,770	2,782	2,695	87
Flags	3,000	1,750	-	1,750
Total Operations & Maintenance	\$ 1,063,193	\$ 696,382	\$ 711,786	\$ (15,404)
Total Expenditures	\$ 1,307,662	\$ 849,276	\$ 825,725	\$ 23,551
Excess (Deficiency) of Revenues over Expenditures	\$ 50,000	\$ 472,969	\$ 538,025	\$ 65,056
<i>Other Financing Sources/(Uses):</i>				
Transfer In/(Out)	\$ (50,000)	\$ (50,000)	\$ (50,000)	\$ -
Total Other Financing Sources/(Uses)	\$ (50,000)	\$ (50,000)	\$ (50,000)	\$ -
Net Change in Fund Balance	\$ 0	\$ 422,969	\$ 488,025	\$ 65,056
Fund Balance - Beginning			\$ 1,905,656	
Fund Balance - Ending			\$ 2,393,682	

Turtle Run
Community Development District
Debt Service Fund Series 2017
Statement of Revenues, Expenditures, and Changes in Fund Balance
For The Period Ended April 30, 2026

	Adopted Budget	Prorated Budget Thru 04/30/26	Actual Thru 04/30/26	Variance
Revenues:				
Special Assessments - Tax Roll	\$ 445,623	\$ 445,623	\$ 447,766	\$ 2,143
Interest Income	-	-	14,548	14,548
Total Revenues	\$ 445,623	\$ 445,623	\$ 462,314	\$ 16,691
Expenditures:				
Series 2017-1				
Interest - 11/1	\$ 46,448	\$ 46,448	\$ 46,448	\$ (0)
Special Call - 11/1	-	-	5,000	(5,000)
Interest - 5/1	46,448	-	-	-
Principal - 5/1	90,000	-	-	-
Series 2017-2				
Interest - 11/1	84,575	84,575	84,575	-
Interest - 5/1	84,575	-	-	-
Principal - 5/1	90,000	-	-	-
Total Expenditures	\$ 442,046	\$ 131,023	\$ 136,023	\$ (5,000)
Excess (Deficiency) of Revenues over Expenditures	\$ 3,577	\$ 314,600	\$ 326,291	\$ 11,691
Fund Balance - Beginning			\$ 599,353	
Fund Balance - Ending			\$ 925,644	

Turtle Run
Community Development District
Capital Projects Reserve Fund
Statement of Revenues, Expenditures, and Changes in Fund Balance
For The Period Ended April 30, 2026

	Adopted Budget	Prorated Budget Thru 04/30/26	Actual Thru 04/30/26	Variance
Revenues				
Interest	\$ 500	\$ 292	\$ 5,781	\$ 5,490
Total Revenues	\$ 500	\$ 292	\$ 5,781	\$ 5,490
Expenditures:				
Bank Service Charges	\$ -	\$ -	\$ 769	\$ (769)
Engineering Fees	-	-	57,028	(57,028)
Lake Bank Restoration - Avana Apartments			21,300	(21,300)
Lake Bank Restoration - Phase 1			7,700	(7,700)
Decorative Pole Replacements	-	-	10,495	(10,495)
Flag Pole Project	-	-	14,550	(14,550)
Sign Repairs and Replacements	-	-	25,510	(25,510)
Total Expenditures	\$ -	\$ -	\$ 137,351	\$ (137,351)
Excess (Deficiency) of Revenues over Expenditures	\$ 500	\$ 292	\$ (131,570)	\$ (131,862)
Other Financing Sources/(Uses)				
Transfer In/(Out)	\$ 50,000	\$ 50,000	\$ 50,000	\$ -
Total Other Financing Sources (Uses)	\$ 50,000	\$ 50,000	\$ 50,000	\$ -
Net Change in Fund Balance	\$ 50,500	\$ 50,292	\$ (81,570)	\$ (131,862)
Fund Balance - Beginning			\$ 280,025	
Fund Balance - Ending			\$ 198,455	

Turtle Run
Community Development District
Capital Reserves Schedule

CAPITAL RESERVES

Beginning Balance - 5/11/26	\$ 198,455
Bank Service Charges	(549)
Engineering Fees - KCI (Est. through September 2026)	(62,730)
Repair of Outfall Pipe/Headwall for Avana Apartments	(44,078)
Engineering Evaluation - Erosion and Sedimentation Control Plan for Phase 1	(14,300)
Engineering Study - Phase 2 Lake Side Slope	(29,610)
Engineering Studies - Phases 3-6 Lake Side Slope	(32,500)
Interest Income	1,250
Contingencies	(15,937)
Total Funds Available (Estimated) - 9/30/26	\$ 0

Turtle Run
Community Development District
Month to Month

	Oct	Nov	Dec	Jan	Feb	March	April	May	June	July	Aug	Sept	Total
Revenues:													
Special Assessments - Tax Roll	\$ -	\$ 125,876	\$ 895,355	\$ 23,345	\$ 125,599	\$ 53,395	\$ 56,361	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 1,279,931
Interest Income	5,625	4,995	5,562	7,334	6,381	7,060	6,619	-	-	-	-	-	43,576
Insurance Proceeds	-	27,750	-	-	12,419	-	-	-	-	-	-	-	40,169
Other Income	-	-	-	-	-	-	75	-	-	-	-	-	75
Total Revenues	\$ 5,625	\$ 158,621	\$ 900,917	\$ 30,679	\$ 144,399	\$ 60,455	\$ 63,054	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 1,363,750
Expenditures:													
General & Administrative:													
Supervisor Fees	\$ 1,800	\$ 1,000	\$ -	\$ -	\$ 1,000	\$ -	\$ 1,800	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 5,600
FICA Taxes	138	77	-	-	77	-	138	-	-	-	-	-	428
Assessment Roll	2,000	-	-	-	-	-	-	-	-	-	-	-	2,000
Attorney	5,335	2,310	1,925	2,695	1,788	4,015	-	-	-	-	-	-	18,068
Attorney - Special Counsel	910	2,155	1,618	5,755	4,690	280	1,435	-	-	-	-	-	16,843
Annual Audit	-	-	-	-	-	-	-	-	-	-	-	-	-
Arbitrage Rebate	-	600	-	-	-	-	-	-	-	-	-	-	600
Trustee Fees	7,000	-	-	-	-	-	-	-	-	-	-	-	7,000
Management Fees	6,026	6,026	6,026	6,026	6,026	6,026	6,026	-	-	-	-	-	42,181
Information Technology	83	83	83	83	83	83	83	-	-	-	-	-	583
Website Maintenance	83	83	83	83	83	83	83	-	-	-	-	-	583
Postage & Delivery	211	58	177	46	15	27	77	-	-	-	-	-	610
Insurance General Liability	13,389	-	-	-	-	-	-	-	-	-	-	-	13,389
Printing & Binding	8	-	10	7	0	5	0	-	-	-	-	-	29
Rental & Leases	400	400	400	400	400	400	400	-	-	-	-	-	2,800
Meeting Room	100	100	-	-	100	100	-	-	-	-	-	-	400
Legal Advertising	-	144	-	-	-	-	180	-	-	-	-	-	324
Other Current Charges	176	189	153	100	173	168	129	-	-	-	-	-	1,088
Office Supplies	-	-	22	-	-	-	-	-	-	-	-	-	22
Dues, Licenses & Subscriptions	175	-	-	-	-	-	-	-	-	-	-	-	175
Security	243	243	243	-	243	243	-	-	-	-	-	-	1,215
Total General & Administrative	\$ 38,077	\$ 13,468	\$ 10,740	\$ 15,195	\$ 14,678	\$ 11,429	\$ 10,351	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 113,939

Turtle Run
Community Development District
Month to Month

	Oct	Nov	Dec	Jan	Feb	March	April	May	June	July	Aug	Sept	Total
<i>Operations & Maintenance</i>													
Special Pay	\$ -	\$ -	\$ 1,000	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 1,000
Field Management	6,667	6,667	6,667	6,667	6,667	6,667	6,667	-	-	-	-	-	46,667
Video Monitoring	226	226	226	226	226	226	226	-	-	-	-	-	1,585
Internet/Data	118	118	118	118	128	141	-	-	-	-	-	-	742
Electric	8,595	8,407	9,138	9,760	9,759	9,224	8,976	-	-	-	-	-	63,858
Water	771	1,008	970	887	1,058	105	-	-	-	-	-	-	4,798
Insurance	49,305	-	-	-	-	-	-	-	-	-	-	-	49,305
Weed Control	2,750	2,750	2,750	2,750	3,850	2,750	2,750	-	-	-	-	-	20,350
Culvert Inspection/Cleaning	16,200	-	14,500	-	5,250	1,500	-	-	-	-	-	-	37,450
Holiday Lighting/Decorations	35,830	-	-	-	-	51,071	-	-	-	-	-	-	86,901
Iguana Removal	625	625	625	625	625	625	625	-	-	-	-	-	4,375
Landscape Maintenance	30,949	30,949	30,949	30,949	30,949	30,949	30,949	-	-	-	-	-	216,645
Pest Control/Fertilization	4,175	4,175	4,025	4,175	4,025	4,175	4,025	-	-	-	-	-	28,775
Landscape Replacement	9,243	7,639	1,558	6,103	6,590	8,726	4,497	-	-	-	-	-	44,357
Annual Tree Trimming	10,208	-	-	-	-	-	-	-	-	-	-	-	10,208
Fountain Maintenance	295	295	295	305	305	305	305	-	-	-	-	-	2,105
Fountain Repairs and Maintenance	-	1,398	-	-	-	2,154	-	-	-	-	-	-	3,552
Irrigation Repairs/Maintenance	2,138	5,815	1,294	9,230	11,431	-	1,025	-	-	-	-	-	30,934
Pressure Cleaning	36,450	-	-	-	-	-	-	-	-	-	-	-	36,450
Contingencies	121	325	222	-	4,933	734	-	-	-	-	-	-	6,335
Paver Repairs	-	-	-	2,275	-	-	1,700	-	-	-	-	-	3,975
Lighting/Electrical Repairs	-	3,546	2,546	367	416	905	-	-	-	-	-	-	7,780
Signs	142	343	-	400	60	-	-	-	-	-	-	-	944
RPM Replacements	-	-	-	-	-	-	-	-	-	-	-	-	-
Rust Preventative TR Park	385	385	385	385	385	385	385	-	-	-	-	-	2,695
Flags	-	-	-	-	-	-	-	-	-	-	-	-	-
Total Operations & Maintenance	\$ 215,192	\$ 74,672	\$ 77,268	\$ 75,223	\$ 86,659	\$ 120,641	\$ 62,131	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 711,786
Total Expenditures	\$ 253,269	\$ 88,140	\$ 88,009	\$ 90,418	\$ 101,337	\$ 132,070	\$ 72,482	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 825,725
Excess (Deficiency) of Revenues over Expenditures	\$(247,644)	\$ 70,481	\$ 812,908	\$ (59,739)	\$ 43,062	\$ (71,615)	\$ (9,428)	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 538,025
Other Financing Sources/Uses:													
Transfer In/(Out)	\$ (50,000)	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ (50,000)
Total Other Financing Sources/Uses	\$ (50,000)	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ (50,000)
Net Change in Fund Balance	\$(297,644)	\$ 70,481	\$ 812,908	\$ (59,739)	\$ 43,062	\$ (71,615)	\$ (9,428)	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 488,025

Turtle Run
Community Development District
Long Term Debt Report

Series 2017-1, Special Assessment Bonds		
Interest Rate:	2.000%	
Maturity Date:	5/1/21	\$80,000
Interest Rate:	2.000%	
Maturity Date:	5/1/22	\$85,000
Interest Rate:	2.125%	
Maturity Date:	5/1/23	\$85,000
Interest Rate:	2.250%	
Maturity Date:	5/1/24	\$85,000
Interest Rate:	2.500%	
Maturity Date:	5/1/25	\$90,000
Interest Rate:	2.600%	
Maturity Date:	5/1/26	\$90,000
Interest Rate:	2.750%	
Maturity Date:	5/1/27	\$95,000
Interest Rate:	2.875%	
Maturity Date:	5/1/28	\$95,000
Interest Rate:	3.100%	
Maturity Date:	5/1/32	\$420,000
Interest Rate:	3.250%	
Maturity Date:	5/1/37	\$605,000
Interest Rate:	3.400%	
Maturity Date:	5/1/47	\$1,545,000
Bonds outstanding - 9/30/2025		\$2,850,000
	November 1, 2025 (Special Call)	(\$5,000)
	May 1, 2026 (Mandatory)	\$0
Current Bonds Outstanding		\$2,845,000

Series 2017-2, Special Assessment Bonds		
Interest Rate:	4.000%	
Maturity Date:	5/1/28	\$535,000
Interest Rate:	5.000%	
Maturity Date:	5/1/37	\$1,135,000
Interest Rate:	5.000%	
Maturity Date:	5/1/47	\$2,020,000
Bonds outstanding - 9/30/2025		\$3,440,000
	May 1, 2026 (Mandatory)	\$0
Current Bonds Outstanding		\$3,440,000
Total Current Bonds Outstanding		\$6,285,000

Turtle Run
COMMUNITY DEVELOPMENT DISTRICT
Special Assessment Receipts - Broward County

TOTAL ASSESSMENT LEVY (RU) 2017-1

Gross Assessments \$ 589,026.13 \$ 197,133.81 \$ 786,159.94

ON ROLL ASSESSMENTS

Date	Distribution	Gross Amount	Discount/(Penalty)	Commission	Interest	Net Receipts	Allocation in %		
							74.92%	25.08%	100.00%
							O&M Portion	Debt Service	Total
11/21/25	11/1/25-11/14/25	\$ 103,334.60	\$ 4,224.58	\$ 991.10	\$ -	\$ 98,118.92	\$ 73,515.08	\$ 24,603.84	\$ 98,118.92
12/05/25	11/1/25-11/30/25	136,882.44	5,475.61	1,314.09	-	130,092.74	97,471.29	32,621.45	130,092.74
12/09/25	PROP APPRAISER	-	-	778.48	-	(778.48)	(583.27)	(195.21)	(778.48)
12/19/25	12/1/25-12/12/25	427,938.01	17,026.61	4,109.09	-	406,802.31	304,794.45	102,007.86	406,802.31
01/02/26	12/13/25-12/23/25	7,176.03	203.09	69.73	-	6,903.21	5,172.19	1,731.02	6,903.21
01/16/26	12/1/25-12/31/25	24,375.34	719.43	236.57	-	23,419.34	17,546.82	5,872.52	23,419.34
01/23/26	INTEREST	-	-	-	389.43	389.43	291.78	97.65	389.43
2/13/26	1/1/26-1/31/26	\$18,282.95	\$392.60	\$178.89	\$0.00	17,711.46	13,270.22	4,441.24	17,711.46
3/13/26	2/1/26-2/28/26	\$17,763.40	\$188.64	\$175.75	\$0.00	17,399.01	13,036.12	4,362.89	17,399.01
04/10/26	3/1/26-3/31/26	29,106.41	1.00	291.06	-	28,814.35	21,589.00	7,225.35	28,814.35
04/24/26	INTEREST	-	-	-	550.20	550.20	412.23	137.97	550.20
TOTAL		\$ 764,859.18	\$ 28,231.56	\$ 8,144.76	\$ 939.63	\$ 729,422.49	\$ 546,515.91	\$ 182,906.58	\$ 729,422.49

97.29%	Percent Collected
\$ 21,300.76	Balance Remaining to Collect

TOTAL ASSESSMENT LEVY (RT) 2017-2

Gross Assessments \$ 277,511.06 \$ 102,241.55 \$ 379,752.61

ON ROLL ASSESSMENTS

Date	Distribution	Gross Amount	Discount/(Penalty)	Commission	Interest	Net Receipts	Allocation in %		
							73.08%	26.92%	100.00%
							O&M Portion	Debt Service	Total
12/05/25	11/1/25-11/30/25	\$ 82,829.15	\$ 3,313.16	\$ 795.16	\$ -	\$ 78,720.83	\$ 57,526.66	\$ 21,194.17	\$ 78,720.83
12/09/25	PROP APPRAISER	-	-	376.04	-	(376.04)	(274.80)	(101.24)	(376.04)
12/19/25	12/1/25-12/12/25	296,923.46	11,876.95	2,850.47	-	282,196.04	206,219.84	75,976.20	282,196.04
1/23/26	INTEREST	\$0.00	\$0.00	\$0.00	\$249.52	249.52	182.34	67.18	249.52
TOTAL		\$ 379,752.61	\$ 15,190.11	\$ 4,021.67	\$ 249.52	\$ 360,790.35	\$ 263,654.04	\$ 97,136.31	\$ 360,790.35

100.00%	Percent Collected
\$ -	Balance Remaining to Collect

TOTAL ASSESSMENT LEVY (RN) 2017-2

Gross Assessments \$ 489,275.22 \$ 174,690.66 \$ 663,965.88

ON ROLL ASSESSMENTS

Date	Distribution	Gross Amount	Discount/(Penalty)	Commission	Interest	Net Receipts	Allocation in %		
							73.69%	26.31%	100.00%
							O&M Portion	Debt Service	Total
11/21/25	11/1/25-11/14/25	\$ 74,764.01	\$ 2,990.56	\$ 717.73	\$ -	\$ 71,055.72	\$ 52,360.83	\$ 18,694.89	\$ 71,055.72
12/05/25	11/1/25-11/30/25	44,315.53	1,772.62	425.43	-	42,117.48	31,036.29	11,081.19	42,117.48
12/09/25	PROP APPRAISER	-	-	657.48	-	(657.48)	(484.50)	(172.98)	(657.48)
12/19/25	12/1/25-12/12/25	285,071.03	11,402.84	2,736.69	-	270,931.50	199,648.92	71,282.58	270,931.50
1/23/26	INTEREST	\$0.00	\$0.00	\$0.00	\$205.54	205.54	151.46	54.08	205.54
2/13/26	1/1/26-1/31/26	\$159,500.52	\$5,525.58	\$1,539.74	\$0.00	152,435.20	112,329.21	40,105.99	152,435.20
3/13/26	2/1/26-2/28/26	\$55,881.24	\$558.81	\$553.23	\$0.00	54,769.20	40,359.32	14,409.88	54,769.20
04/10/26	3/1/26-3/31/26	44,433.55	-	444.33	-	43,989.22	32,415.57	11,573.65	43,989.22
04/24/26	INTEREST	-	-	-	2,637.76	2,637.76	1,943.76	694.00	2,637.76
TOTAL		\$ 663,965.88	\$ 22,250.41	\$ 7,074.63	\$ 2,843.30	\$ 637,484.14	\$ 469,760.86	\$ 167,723.28	\$ 637,484.14

100.00%	Percent Collected
\$ -	Balance Remaining to Collect

98.84%	Total Percent Collected
\$ 21,300.76	Total Balance Remaining to Collect